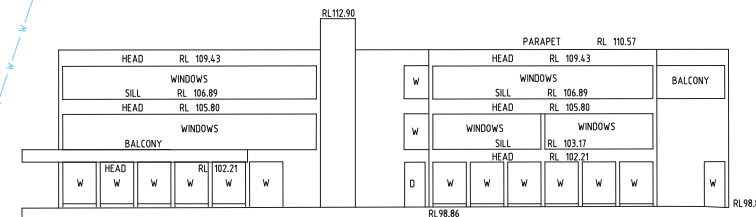


BENCHMARK
NAIL
RL 98.09 (AHD)

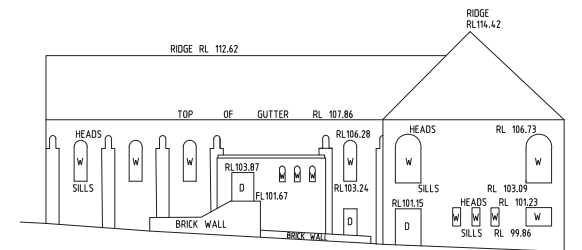
STREET

OXFORD



SOUTHERN ELEVATION No.37-41

1:200



NORTHERN ELEVATION "OUR LADY HELP OF CHRISTIANS" CATHOLIC CHURCH

1:200

LEGEND

BENCH MARK	▲
TELSTRA PIT	■ TEL
ELECTRIC LIGHT POLE	■ LP
ELECTRICITY BOX	■ EL
TRAFFIC LIGHT	■ TL
STREET SIGN	■ SS
GRATED INLET PIT	■ GIP
SEWER MANHOLE	○ SMH
HYDRANT	■ HYD
WATER METER	■ WM
WATER TAP	■ WT
WATER LID	■ W
VEHICLE CROSSING	■ VCI
GAS	— G —
TELSTRA	— T —
STORMWATER	— SW —
SEWER	— S —
ELECTRICITY (UGROUND)	— E —
WATER	— W —

NOTES

1. THE BOUNDARIES HAVE NOT BEEN MARKED
2. ALL AREAS AND DIMENSIONS HAVE BEEN COMPILED FROM PLANS MADE AVAILABLE BY THE OFFICE OF LAND & PROPERTY INFORMATION (NSW) AND ARE SUBJECT TO FINAL SURVEY
3. ORIGIN OF LEVELS ON A.H.D. IS TAKEN FROM PM 47191 R.L. 97.222 (A.H.D.) IN SOMERSET STREET AND TRANSFERRED TO BENCHMARK AS SHOWN VIA CORSNET
4. ONLY SPOT LEVELS SHOULD BE USED FOR CALCULATIONS OF QUANTITIES WITH CAUTION
5. KERB LEVELS ARE TO THE TOP OF KERB UNLESS SHOWN OTHERWISE
6. FLOOR LEVELS SHOWN ARE THRESHOLD LEVELS. NO INVESTIGATION OF INTERNAL FLOOR LEVELS HAS BEEN UNDERTAKEN
7. NO INVESTIGATION OF UNDERGROUND SERVICES HAS BEEN MADE. SERVICES HAVE BEEN PLOTTED FROM RELEVANT AUTHORITIES INFORMATION AND HAVE NOT BEEN SURVEYED. ALL RELEVANT AUTHORITIES SHOULD BE NOTIFIED PRIOR TO ANY EXCAVATION ON OR NEAR THE SITE
8. Ø 4"/7 DENOTES TREE SPREAD OF 8m, TRUNK DIAMETER OF 0.4m & APPROX HEIGHT OF 7m
9. BEARINGS SHOWN ARE MGA (MAP GRID OF AUSTRALIA) ADD APPROX. 1°00' FOR TRUE NORTH



D	00/00/00	-	00
C	00/00/00	-	00
B	00/00/00	-	00
A	00/00/00	-	00
Revision	Date	Description	Reference

THIS IS THE PLAN REFERRED TO
IN MY LETTER DATED: 11/11/14



Suite 1, Level 1
810 Pacific Highway
Gordon NSW 2072
Locked Bag 5
Gordon NSW 2072
P 1300 587 000
F 02 9499 7760

Client LUXCON PROPERTIES PTY LTD
Drawing title
PLAN OF DETAIL AND LEVELS OVER LOT 23 SECTION 1
DP 758390 AND LOT 2 DP 519703 AT 33-35 OXFORD
STREET, EPPING

datum
AHD
site Area
2161m²
LGA
HORNSBY

project number
-
scale
1:200 @A1

reference number
41364DT
date of survey
06/11/14

SHEET
OF 1 SHEETS

35 OXFORD STREET, EPPING
SECTION 96 APPLICATION- MIXED USED DEVELOPMENT

CLIENT: LUXCON DEVELOPMENTS

PROJECT NO : 15534
DATE : JUNE 2016

SHEET SCHEDULE

ID	Name
A-1.00	TITLE SHEET
A-1.01	UNIT SCHEDULE
A-1.02	SITE ANALYSIS PLAN
A-1.03	DEMOLITION PLAN
A-1.04	SITE PLAN
A-1.05	SITE MANAGEMENT PLAN
A-2.01	BASEMENT PLANS 1
A-2.02	BASEMENT PLANS 2
A-2.03	LEVEL 4 FLOOR PLAN
A-2.03.1	MEZZANINE FLOOR PLAN
A-2.04	LEVEL 5 FLOOR PLAN
A-2.05	LEVEL 6 FLOOR PLAN
A-2.06	LEVEL 7 FLOOR PLAN
A-2.07	LEVELS 8-11 FLOOR PLANS
A-2.08	LEVEL 12 FLOOR PLAN
A-2.09	LEVELS 13-16 FLOOR PLAN
A-2.10	LEVEL 17
A-2.11	LEVEL 18 FLOOR PLAN
A-2.12	LEVELS 19-22 FLOOR PLANS
A-2.13	LEVELS 23 FLOOR PLANS
A-2.14	LEVEL 24 FLOOR PLAN
A-2.15	LEVELS 25 FLOOR PLANS
A-2.16	ADAPTATION PLANS 1
A-2.17	ADAPTATION PLANS 2
A-2.18	ADAPTATION PLANS 3
A-2.19	ADAPTATION PLANS 4
A-3.01	OXFORD STREET ELEVATION
A-3.02	NORTH ELEVATION
A-3.03	WEST ELEVATION
A-3.04	SOUTH ELEVATION
A-3.05	STREETSCAPE ELEVATION
A-4.01	SECTIONS
A-5.00	FSR CALCULATIONS 1
A-5.01	FSR CALCULATIONS 2
A-6.01	FACADE SECTION 1 - PODIUM
A-6.02	FACADE SECTION 2 - CONCRETE BALUSTRADES
A-6.03	FACADE SECTION 3 - BAY WINDOW

BASIX COMMITMENTS

Glazing Doors/windows	Aluminium framed Low-E clear glazing required as follows: <i>Living area only: 13.03, 14.03, 15.03, 16.03, 17.03, 23.01, 24.01 & 25.01</i> U-Value: 4.7 (equal to or lower than) SHGC: 0.63 (+ or – 10%) Aluminium framed single clear glazing to all other units: U-Value: 6.57 (equal to or lower than) SHGC: 0.74 (+ or – 10%) Given values are NFRC, total window values
Roof	Concrete roof No insulation Default colour modelled
Ceiling	Plasterboard ceiling, R2.5 bulk insulation where exposed roof or balconies are above Plasterboard ceiling, no insulation where neighbouring units are above Note: Loss of ceiling insulation due to penetrations from down lights have been accounted for in accordance with BCA Technical Note 2 and assume non-ventilated LED down lights.
External wall	180mm precast concrete, R1.5 insulation, plasterboard lining Default medium colour
Inter tenancy walls	Hebel – minimum of R1.5 insulation to walls shared with hallways Hebel – no insulation required to walls shared with neighbours
Walls with-in dwellings	Plasterboard on studs - no insulation
Floors	Concrete, R0.9 insulation to areas of open sub-floor required to unit 5.03 Concrete - No insulation where neighbouring units, common areas or enclosed car parks are below Carpet to bedrooms, tiles to wet areas and timber to the remainder of the units.
Central rainwater storage	No tank required
Swimming pool	Volume 87 KL A pool cover is not required
Central hot water system	Central gas-fired boiler with R0.6 (~25mm) insulation to ring main and supply risers

33-35 OXFORD STREET EPPING

APARMENT SCHEDULE

mkdarchitects

	RETAIL	1 BED	2 BED	3 BED	INTERNAL AREA (m2)	EXTERNAL AREA (m2)	CROSS VENT	GREATER THAN 2 HOURS OF SOLAR ACCESS ACHIEVED BETWEEN 9AM AND 3PM IN MID WINTER	BASEMENT STORAGE (m3)	INT STORAGE (m3)
RETAIL 01					95	N/A	N/A	N/A	N/A	N/A
UNIT 501					81.5	12			5	4.5
UNIT 502					53	10			3	11.2
UNIT 503					102	23.5			5	7.2
UNIT 504					67	125			6	11
UNIT 505					80	74			3	6.3
UNIT 601					93	12			5	4.5
UNIT 602					61.5	10			3	10
UNIT 603					109	13.5			5	17.1
UNIT 604					67	11			6	11
UNIT 605					80	26			3	6.3
UNIT 701					72	18			8	5.2
UNIT 702					93	41			8	4.4
UNIT 703					75	58			6	16.4
UNIT 801					72	11			8	5.2
UNIT 802					79.5	11.5			8	7.9
UNIT 803					75	11			6	16.4
UNIT 901					72	11			8	5.2
UNIT 902					79.5	11.5			8	7.9
UNIT 903					75	11			6	16.4
UNIT 1001					72	11			8	5.2
UNIT 1002					79.5	11.5			8	7.9
UNIT 1003					75	11			6	16.4
UNIT 1101					72	11			8	5.2
UNIT 1102					79.5	11.5			8	7.9
UNIT 1103					75	11			6	16.4
UNIT 1201					79.5	30			5.5	4.6
UNIT 1202					50	12			3	2.8
UNIT 1203					50	14.5			3	6.5
UNIT 1301					79.5	14			5.5	4.6
UNIT 1302					50	12			3	2.8
UNIT 1303					50	14.5			3	6.5
UNIT 1401					79.5	14			5.5	4.6
UNIT 1402					50	12			3	2.8
UNIT 1403					50	14.5			3	6.5
UNIT 1501					79.5	14			6.5	4.6
UNIT 1502					50	12			3	2.8
UNIT 1503					50	14.5			5	6.5
UNIT 1601					79.5	14			8.5	4.6
UNIT 1602					50	12			3	2.8
UNIT 1603					50	14.5			5	6.5
UNIT 1701					79.5	14			8.5	4.6
UNIT 1702					50	12			3	2.8
UNIT 1703					50	14.5			5	6.5
UNIT 1801					81	40			8	7
UNIT 1802					80	16			6	3.2
UNIT 1901					81	14			8	7
UNIT 1902					80	15			5	3.2
UNIT 2001					81	14			5	7
UNIT 2002					80	15			6	3.2
UNIT 2101					81	14			5	7
UNIT 2102					80	15			10	3.2
UNIT 2201					81	14			4	7
UNIT 2202					80	15			10	3.2
UNIT 2301					130	75			15	7.6
UNIT 2401					130	41			15	7.6
UNIT 2501					130	41			10	7.6
TOTAL	1	16	34	6	4307	1156	89%	89%		

PERCENTAGES	29%	61%	11%
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mkdarchitects

Suite 2, 263 Enmore Road,
ENMORE NSW 2042
T: 02 9516 3818

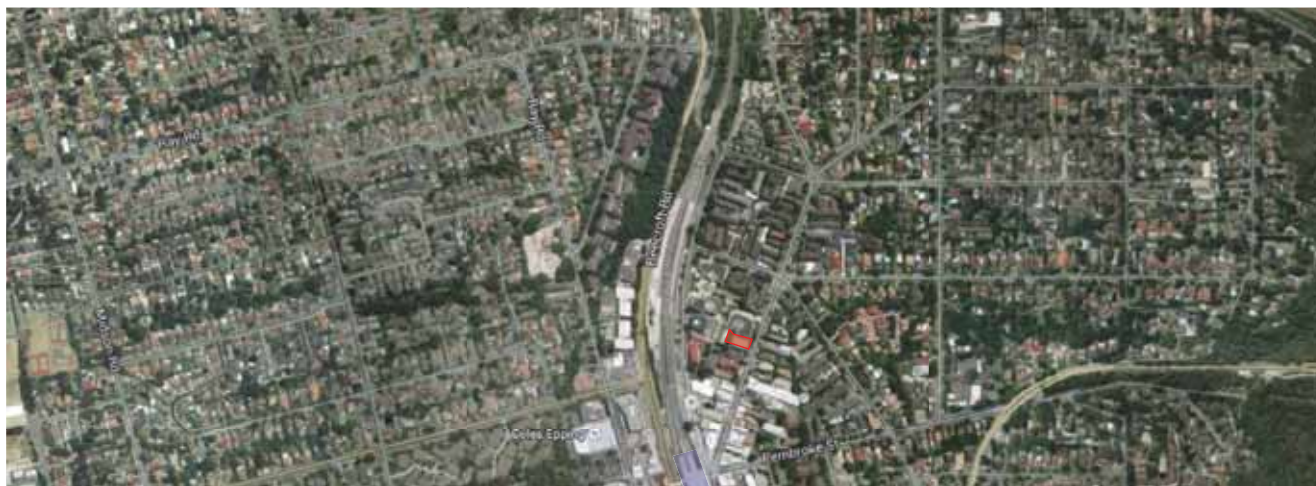
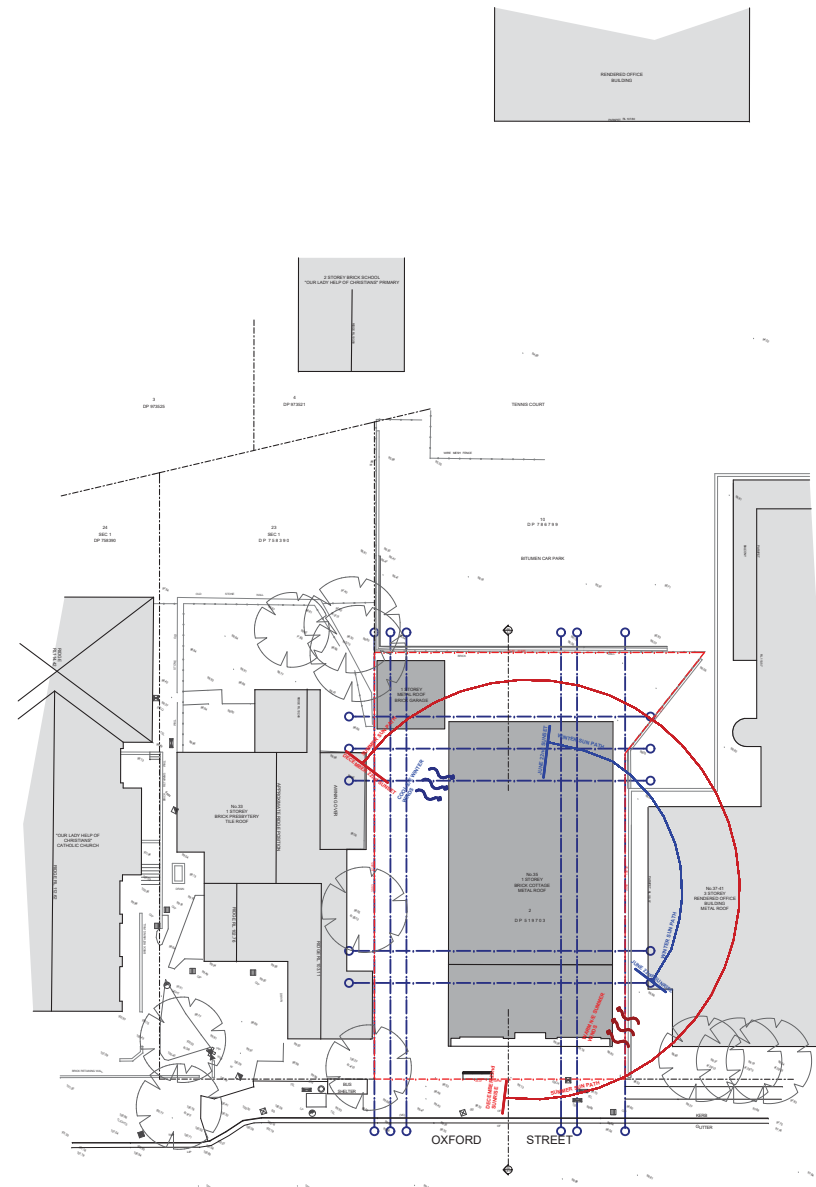
Nominated Architect: Carl Salim 7498

LUXCON DEVELOPMENTS
35 OXFORD STREET EPPING

MIXED USED DEVELOPMENT

UNIT SCHEDULE

Project No. 15534	Drawing No. A-1.01	Revision E
Scale 1:200 @ A3 UNO	Date JUNE 2016	



SATELLITE IMAGE OF SUBJECT SITE



25-29 OXFORD STREET EPPING



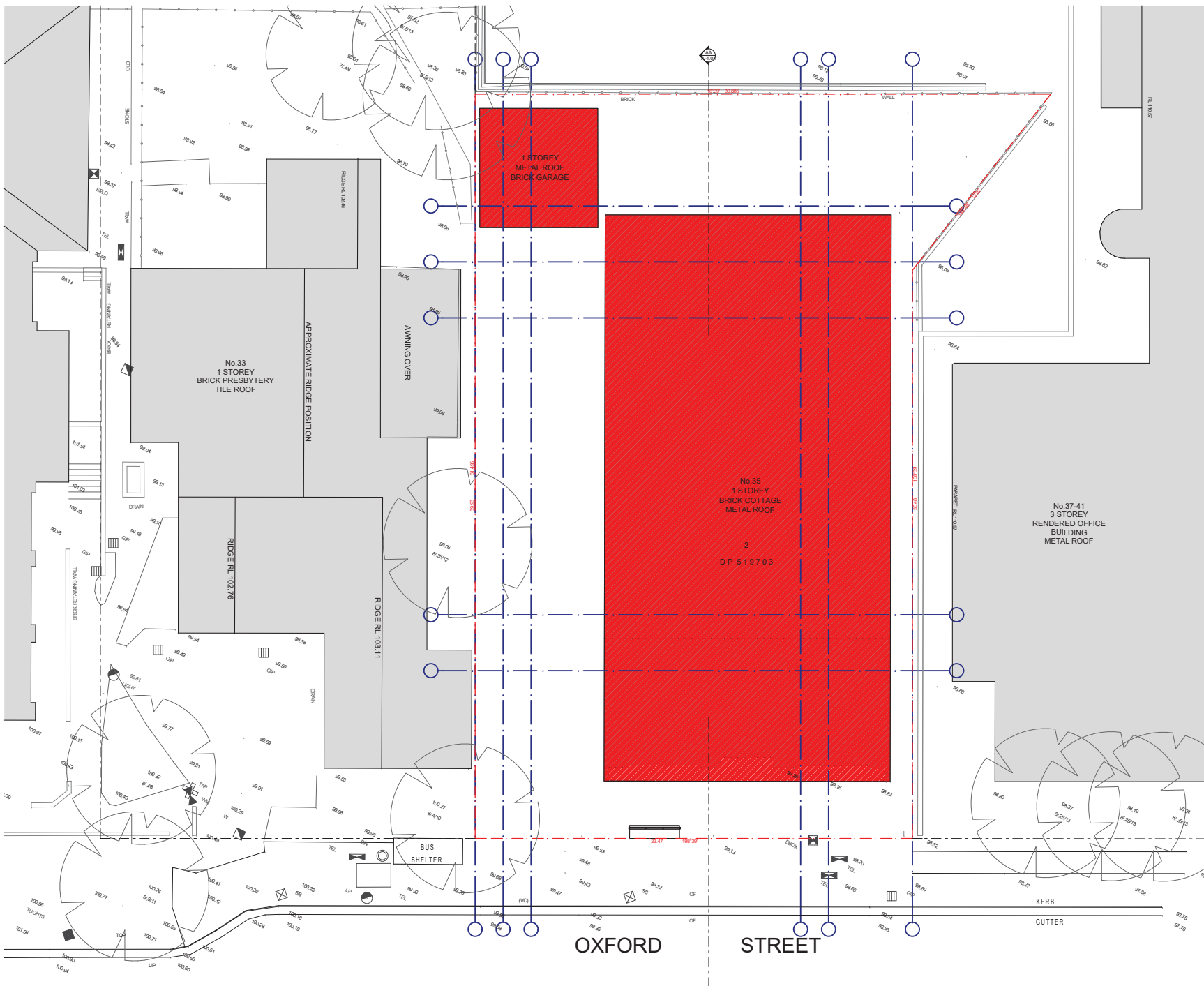
31-33 OXFORD STREET EPPING



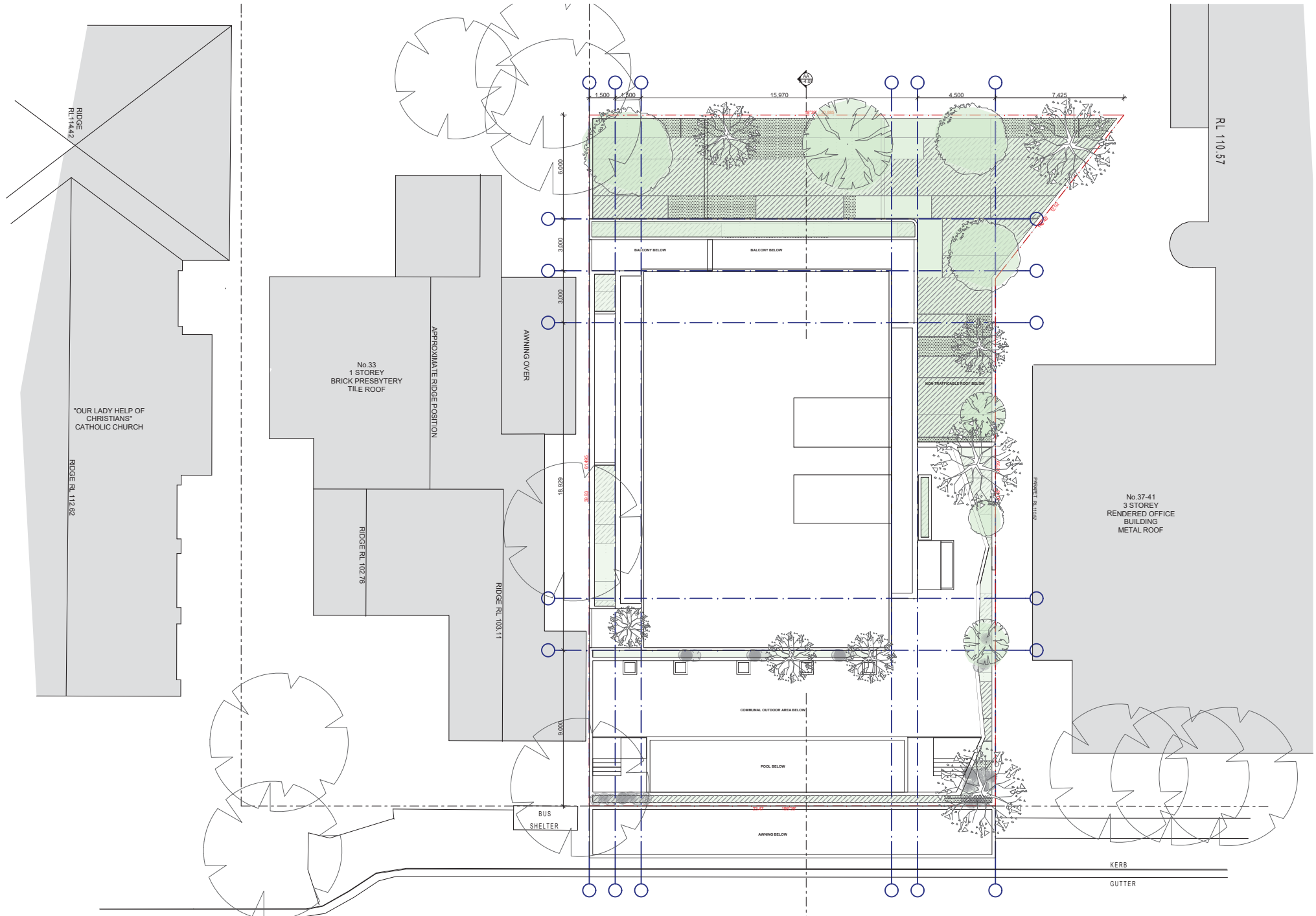
35 OXFORD STREET EPPING



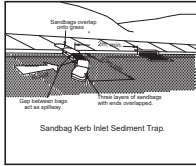
37-41 OXFORD STREET EPPING



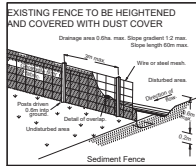
ITEMS TO BE DEMOLISHED



Note 1:



Note 2:



"UNAUTHORISED ENTRY TO SITE PROHIBITED".

SIGN

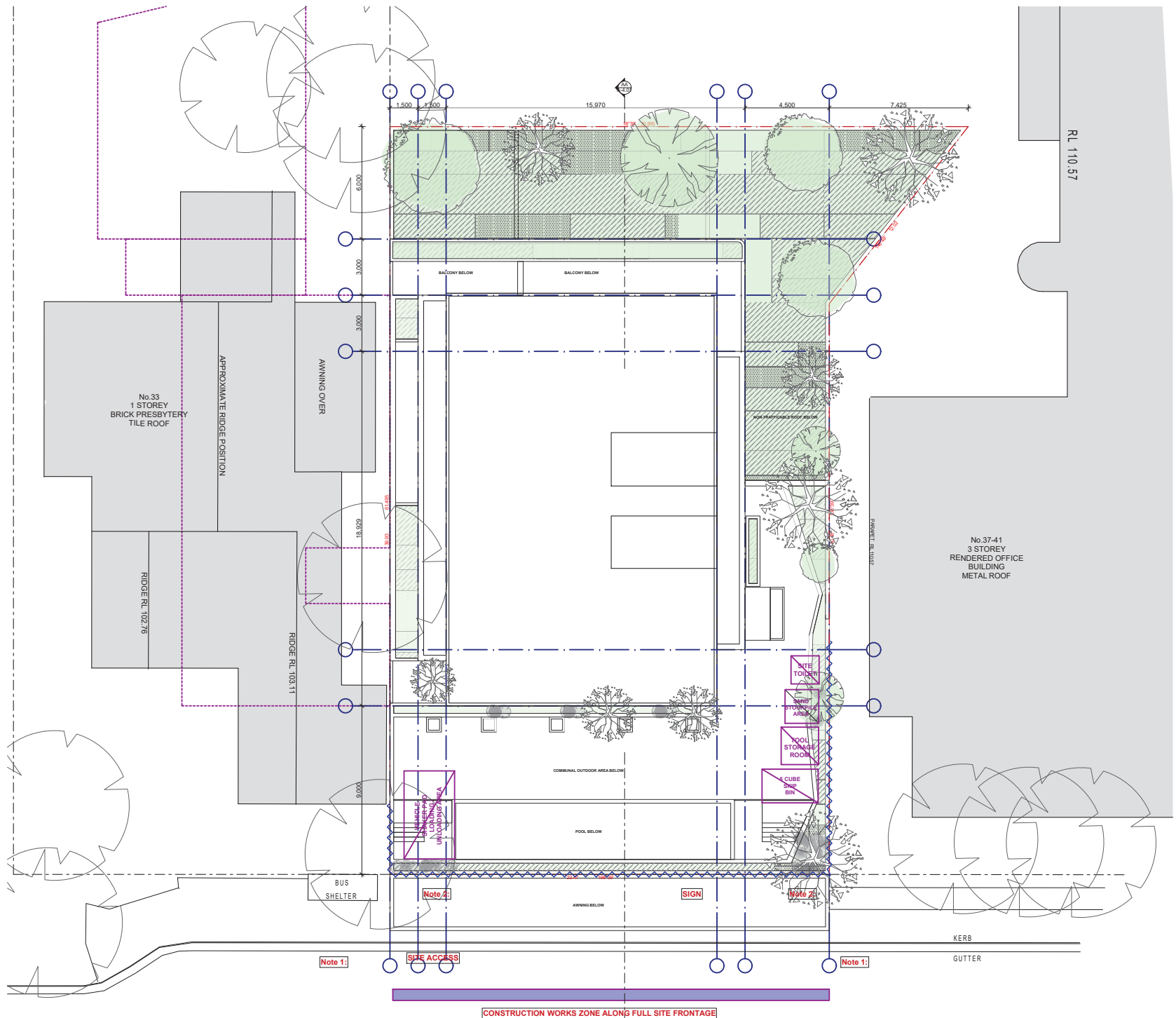
A SIGN MUST BE DISPLAYED IN A PROMINENT POSITION ON SITE SHOWING DETAILS OF CERTIFYING AUTHORITY AND PRINCIPAL CONTRACTOR

A SIGN MUST BE DISPLAYED STATING THAT UNAUTHORISED ENTRY TO SITE IS PROHIBITED

ANY SUCH SIGNS TO BE MAINTAINED WHILE WORK IS CARRIED OUT AND MUST BE REMOVED WHEN WORK HAS BEEN COMPLETED

1.8m HIGH SAFETY FENCE WITH DUST PROOF FABRIC.

DUST CONTROL MEASURES SUCH AS WATERING DOWN TO BE USED DURING EARTHWORKS, DEMOLITION & CONSTRUCTION STAGE.



LEGEND / NOTES

ALL WINDOWS TO BATHROOMS
TO BE OPENED
SOFFIT OF MAIN ROOF OVER TO
MATCH FASCIA

BOUNDARY LINE
SETBACK LINE

AF / PFC

ALUMINIUM FRAMING TO
BAY WINDOWS &
PARALLEL FLANGE
CHANNEL TO STREET
ANNING
POWDERCOATED DULUX
BLACK
PG1A9
OR SIKALAK

CB / GB / W

* COLOURBACK GLASS
* GLASS BALUSTRADES
(BLACK TINTED GLASS &
FRAMING)
ALL GLASS BALUSTRADES
POWDERCOATED
* WINDOW GLAZING (BLACK
TINTED GLASS)
ALL WINDOW FRAMES TO
BE BLACK POWDERCOATED
OR SIKALAK

CM1

RIBBED CONCRETE
PRE-CAST CONCRETE
PANELS
OR SIKALAK

EC

EXTERNAL CURTAIN
FIXED TO TOP AND
BOTTOM TRACK
BLACK
OR SIKALAK

FB1

FACE BRICK 1
BOWAL GERTRUDIS
50mm PROFILE
OR SIKALAK

PT1

PAINT FINISH 1
PRE-CAST CONCRETE
PANEL
WHITE ON WHITE
OR SIKALAK

PT2

PAINT FINISH 2
PRE-CAST CONCRETE
PANEL
DULUX BLACK
PG1A9
OR SIKALAK

PT3

PAINT FINISH 3
PRE-CAST CONCRETE
PANEL
DULUX KAHULAK MILK
P15C3
OR SIKALAK

PT4

PAINT FINISH 4
RENDER AND PAINTED
BRICKWORK
"DOMINO"
PG1A8
OR SIKALAK

PF1

PERFORATED METAL
SCREEN
POWDERCOATED DULUX
BLACK
PG1A9
OR SIKALAK

PS

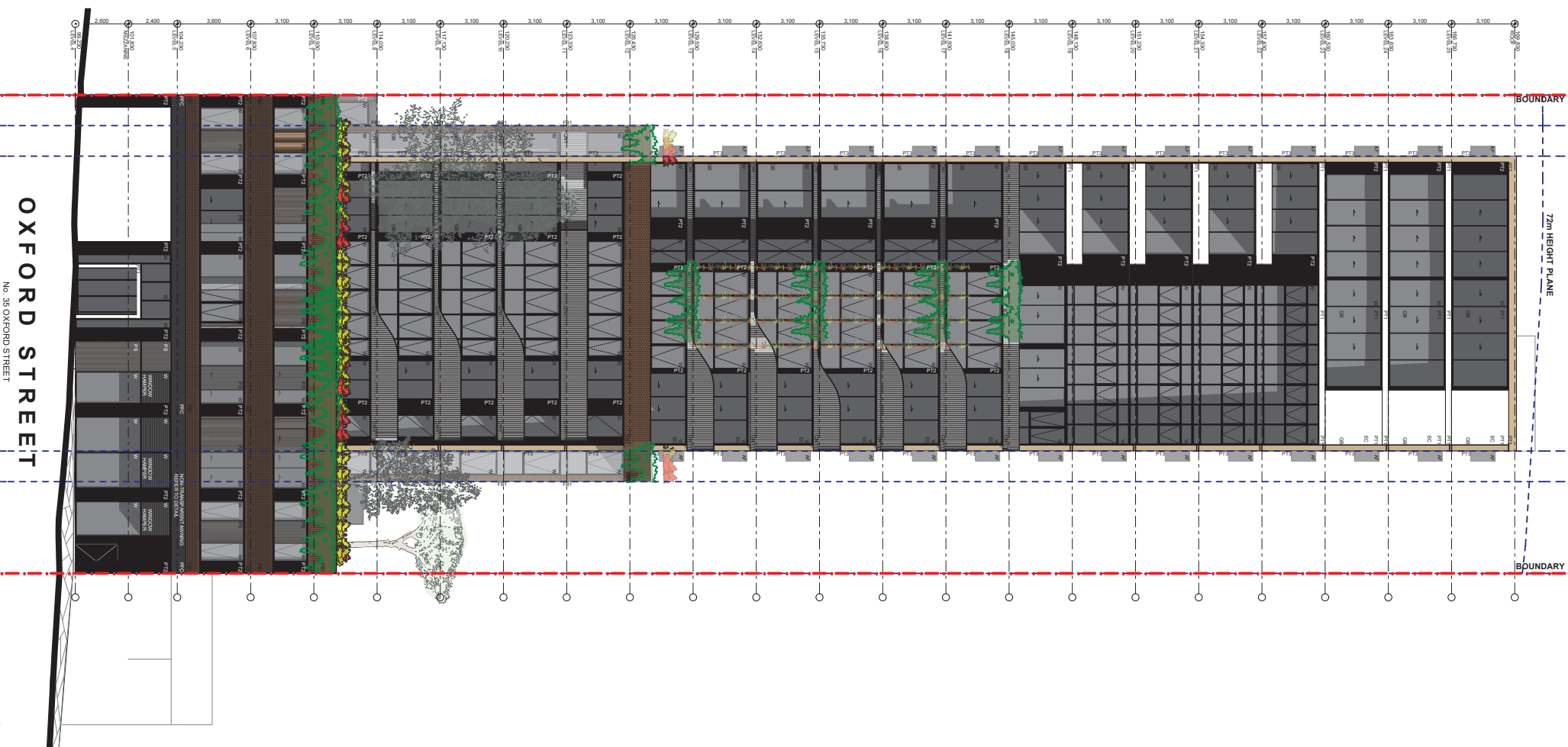
TIMBER PRIVACY SCREEN
BLACKX TUTT
OR SIKALAK

PS2

POWDERCOATED
ALUMINIUM PRIVACY
SCREEN
WHITE ON WHITE
OR SIKALAK



PRECEDENT IMAGE: FRAMED FACADE ARTICULATION



LEGEND / NOTES

ALL WINDOWS TO BATHROOMS
TO BE OPENED
SOFFIT OF MAIN ROOF OVER TO
MATCH PASCAL

BOUNDARY LINE

SETBACK LINE

AF / PFC

ALUMINUM FRAMING TO
BAY WINDOWS &
PARALLEL FLANGE
CHANNEL TO STREET
AWNING
POWDERCOATED DULUX
BLACK
PG1A9
OR SIMILAR

CB / GB / W

* COO CURBACK GLASS
* GLASS BALUSTRADES
(BLACK TINTED GLASS &
FRAMING)
ALL GLASS BALUSTRADING
POWDERCOATED
* WINDOW GLAZING (BLACK
TINTED GLASS)
ALL WINDOW FRAMES TO
BE BLACK POWDERCOATED
TO BLACK
OR SIMILAR

CM1

REBBER CONCRETE
PAVING
OR SIMILAR

EC

EXTERNAL CURTAIN
FIXED TO TOP AND
BOTTOM TRACK
BLACK
OR SIMILAR

FB1

FACE BRICK 1
BOWRAL GERTRUDIS
50mm PROFILE
OR SIMILAR

PT1

PAINT FINISH 1
PRE-CAST CONCRETE
PANEL
PNC01
WHITE ON WHITE
OR SIMILAR

PT2

PAINT FINISH 2
PRE-CAST CONCRETE
PANEL
DULUX BLACK
PG1A9
OR SIMILAR

PT3

PAINT FINISH 3
PRE-CAST CONCRETE
PANEL
DULUX KAHULUA MILK
P15C3
OR SIMILAR

PT4

PAINT FINISH 4
RENDER AND PAINTED
BRICKWORK
PG1A8
DOMINO
OR SIMILAR

PF1

PERFORATED METAL
SCREEN
POWDERCOATED DULUX
BLACK
PG1A9
OR SIMILAR

PS

TIMBER PRIVACY SCREEN
BLACKS TUTT
OR SIMILAR

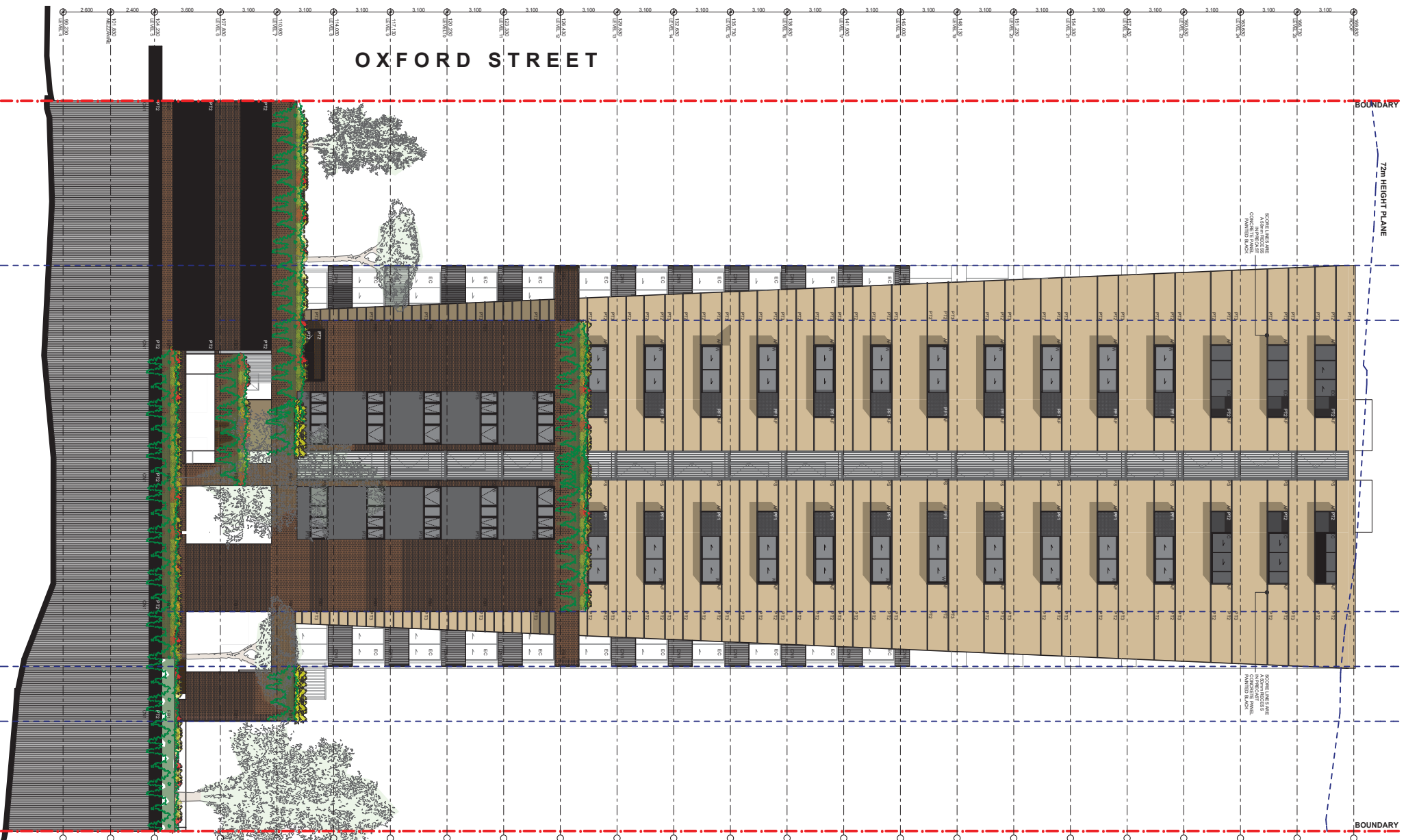
P52

POWDERCOATED
ALUMINUM PRIVACY
SCREEN
PNC01
WHITE ON WHITE
OR SIMILAR

BOUNDARY
72m HEIGHT PLANE

SCROLL RAILING
ALUMINUM
CONCRETE BALUSTRADES
PAINTED BLACK

SCROLL RAILING
ALUMINUM
CONCRETE BALUSTRADES
PAINTED BLACK



OXFORD STREET

LEGEND / NOTES

ALL WINDOWS TO BATHROOMS
TO BE OPENED
SOFFIT OF MAIN ROOF OVER TO
MATCH FASCIA

BOUNDARY LINE

SETBACK LINE

AF / PFC

ALUMINIUM FRAMING TO
BAY WINDOWS &
PARALLEL FLANGE
CHANNEL TO STREET
ANNING
POWDER COATED DULUX
BLACK
PG1A9
OR SIMILAR

CB / GB / W

* COLOURBACK GLASS
* GLASS BALUSTRADES
(BLACK TINTED GLASS &
FRAMING)
ALL GLASS BALUSTRADING
POWDER COATED
TINTED GLASS)
* WINDOW GLAZING (BLACK
TINTED GLASS)
ALL WINDOW FRAMES TO
BE BLACK POWDER COATED
TO BLACK
OR SIMILAR

CN1

RIBBED CONCRETE
PRE-CAST CONCRETE
PANELS
OR SIMILAR

EC

EXTERNAL CURTAIN
FIXED TO TOP AND
BOTTOM TRACK
BLACK
OR SIMILAR

FB1

FACE BRICK 1
BOWTIE GERTRUDIS
DOWN
50mm PROFILE
OR SIMILAR

PT1

PAINT FINISH 1
PRE-CAST CONCRETE
PANEL
WHITE ON WHITE
OR SIMILAR

PT2

PAINT FINISH 2
PRE-CAST CONCRETE
PANEL
DULUX BLACK
OR SIMILAR

PT3

PAINT FINISH 3
PRE-CAST CONCRETE
PANEL
DULUX KAHULU MILK
P15C3
OR SIMILAR

PT4

PAINT FINISH 4
RENDER AND PAINTED
BRICKWORK
"DOMINO"
PG1A8
OR SIMILAR

PF1

PERFORATED METAL
SCREEN
POWDER COATED DULUX
BLACK
PG1A9
OR SIMILAR

PS

TIMBER PRIVACY SCREEN
BLACK 8 UT
OR SIMILAR

P52

POWDER COATED
ALUMINIUM PRIVACY
SCREEN
WHITE ON WHITE
OR SIMILAR

P52

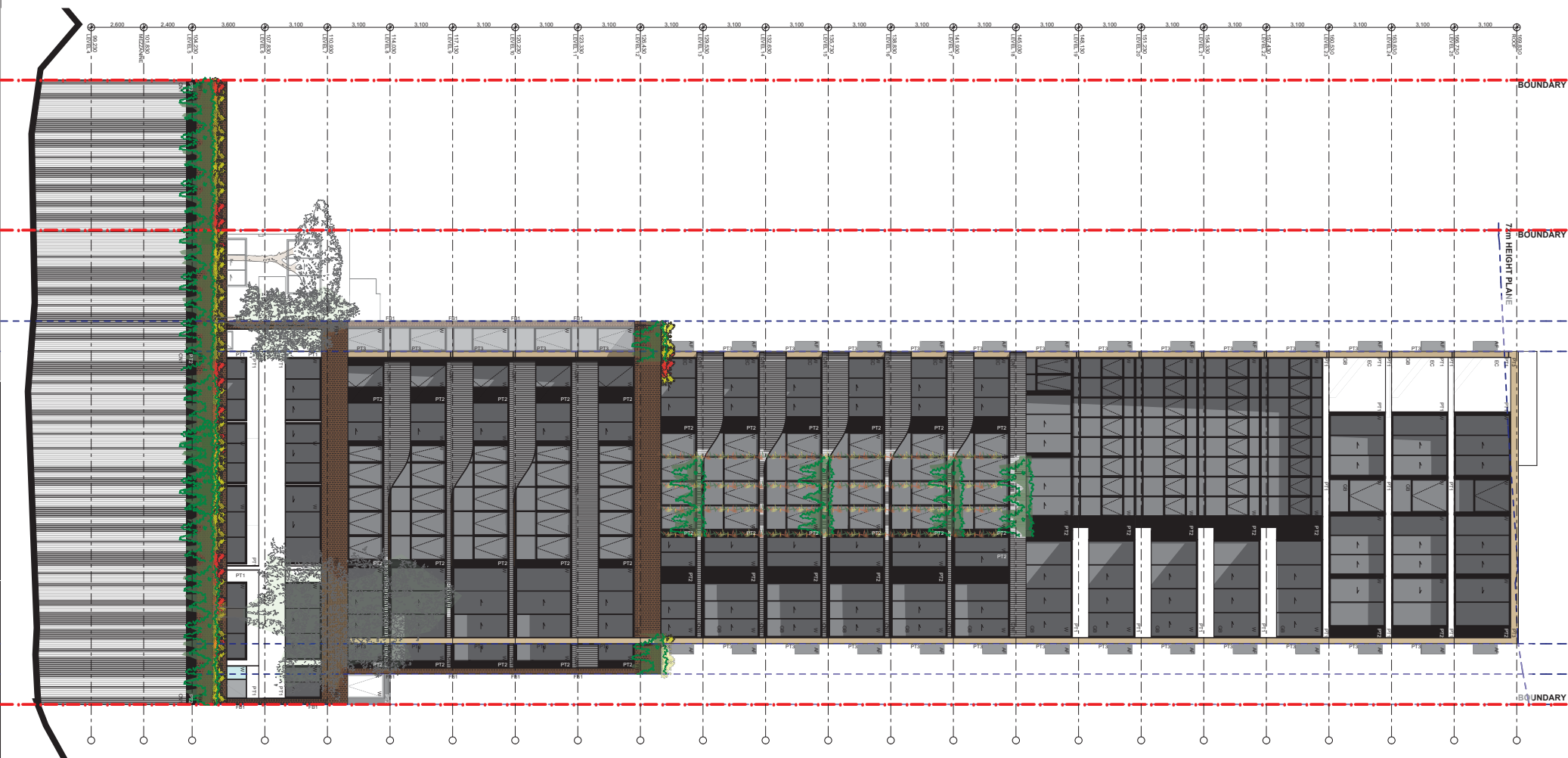
POWDER COATED
ALUMINIUM PRIVACY
SCREEN
WHITE ON WHITE
OR SIMILAR

BOUNDARY

7.5m HEIGHT PLANE

BOUNDARY

BOUNDARY



PRECEDENT IMAGE: BALCONY BANDING

LEGEND / NOTES

ALL WINDOWS TO BATHROOMS
TO BE PROVIDED WITH
SOFFIT OF MAIN ROOF OVER TO
MATCH PASCIA

BOUNDARY LINE — — — — —
SETBACK LINE — — — — —

AF / PFC

ALUMINUM FRAMING TO
BAY WINDOWS &
PARALLEL FLANGE
CHANNEL TO STREET
ANNING
POWDERCOATED DULUX
BLACK
PG1A9
OR SILLIAN

CB / GB / W

* CO. GURBACK GLASS
* GLASS BALUSTRADES
(BLACK TINTED GLASS &
FRAMING)
ALL GLASS BALUSTRADES
POWDERCOATED
TINTED GLASS)
* WINDOW FRAMES TO
BE BLACK POWDERCOATED
BLACK
OR SILLIAN

CM1

RIBBED CONCRETE
PRE-CAST CONCRETE
PANELS
OR SILLIAN

EC

EXTERNAL CURTAIN
FIXED TO TOP AND
BOTTOM TRACK
BLACK
OR SILLIAN

FB1

FACE BRICK 1
BOWRAL GERTRUDIS
50mm PROFILE
OR SILLIAN

PT11

PAINT FINISH 1
PRE-CAST CONCRETE
PANEL
WHITE ON WHITE
OR SILLIAN

PT12

PAINT FINISH 2
PRE-CAST CONCRETE
PANEL
DULUX BLACK
PG1A6
OR SILLIAN

PT13

PAINT FINISH 3
PRE-CAST CONCRETE
PANEL
DULUX KAHILUA MILK
P15C3
OR SILLIAN

PT14

PAINT FINISH 4
RENDER AND PAINTED
BRICKWORK
DOMINIO
PG1A8
OR SILLIAN

PF1

PERFORATED METAL
SCREEN
POWDERCOATED DULUX
BLACK
PG1A9
OR SILLIAN

PS

TIMBER PRIVACY SCREEN
BLACKS TUTT
OR SILLIAN

P52

POWDERCOATED
ALUMINUM PRIVACY
SCREEN
PNC01
WHITE ON WHITE
OR SILLIAN

BOUNDARY

UPPER CENTRAL
SECTION MAIN WALL

PAINTED DOWN
OVERLAPPING TO
THE BOTTOM
SCORE LINE RECES
CONCRETE PANEL
OR SILLIAN

72m HEIGHT PLANE

BOUNDARY

PAINTED DOWN
OVERLAPPING TO
THE BOTTOM
SCORE LINE RECES
CONCRETE PANEL
OR SILLIAN



PROPOSED 3D VIEW - SOUTH & WEST ELEVATIONS



PROPOSED 3D VIEW - NORTH & EAST ELEVATIONS



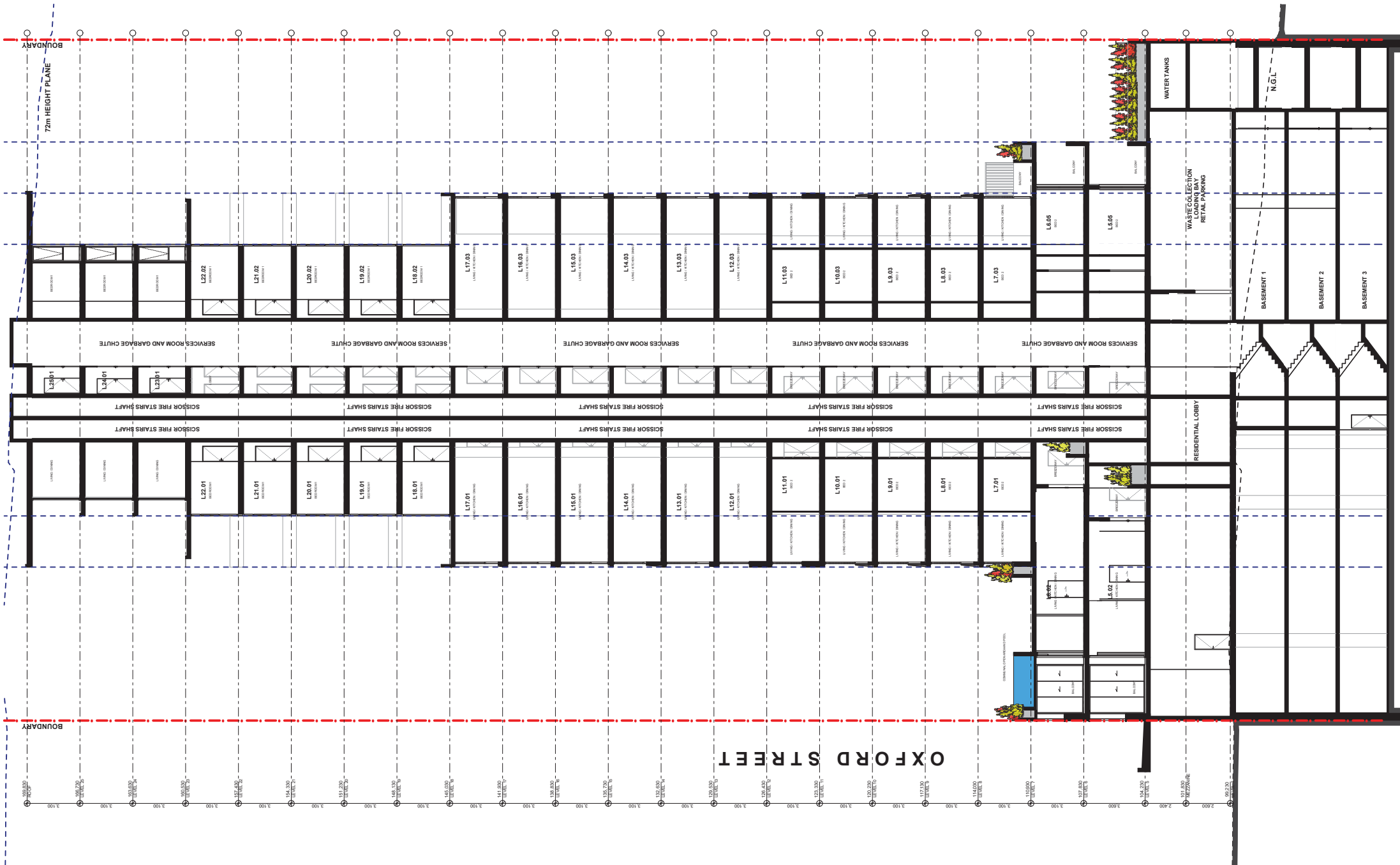
PROPOSED 3D VIEW - PODIUM AND VIEW FROM STREET LEVEL

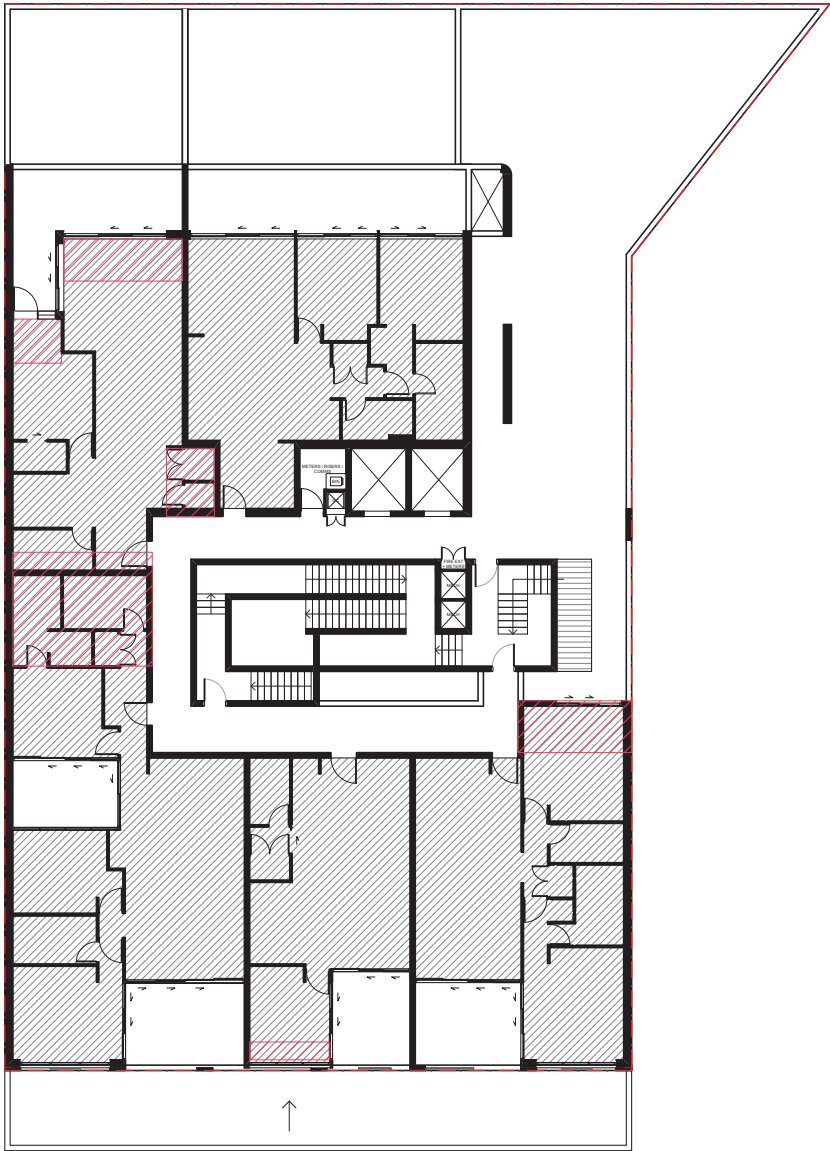
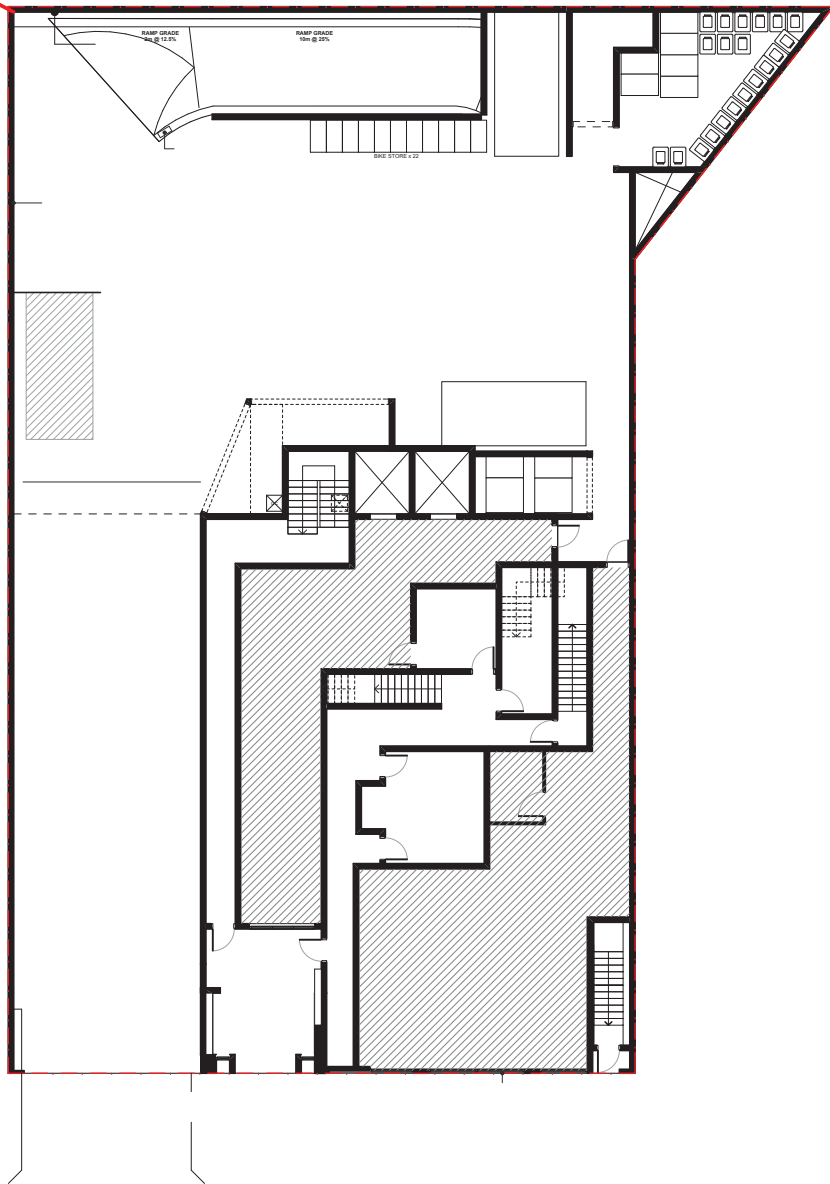


PROPOSED 3D VIEW - TOP OF SOUTH WEST ELEVATION ARTICULATION



PROPOSED 3D VIEW - MIDDLE OF SOUTH EAST ELEVATION ARTICULATION



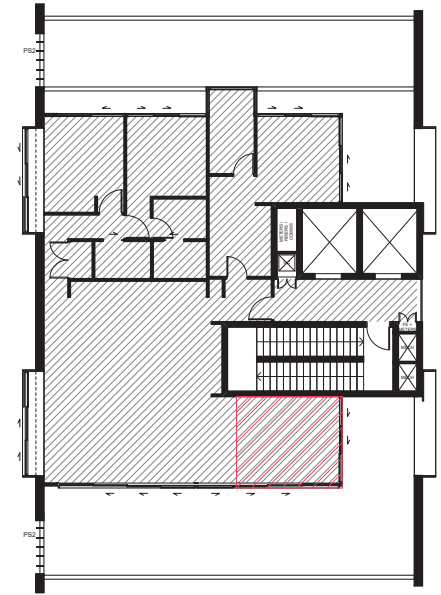
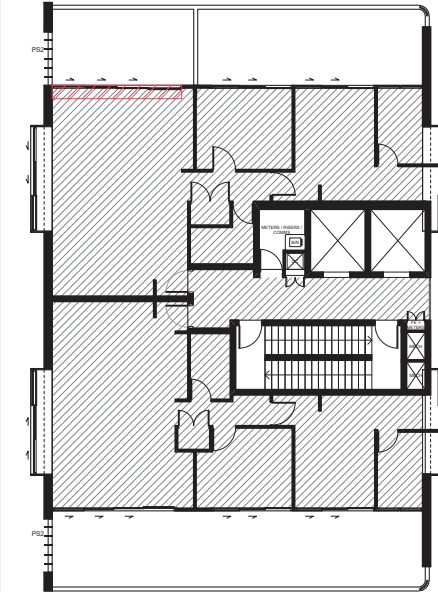
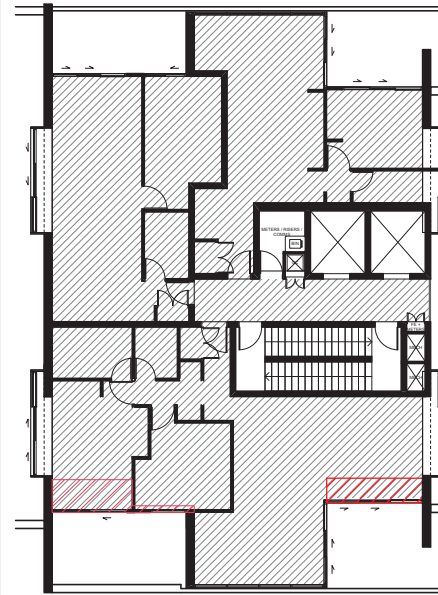
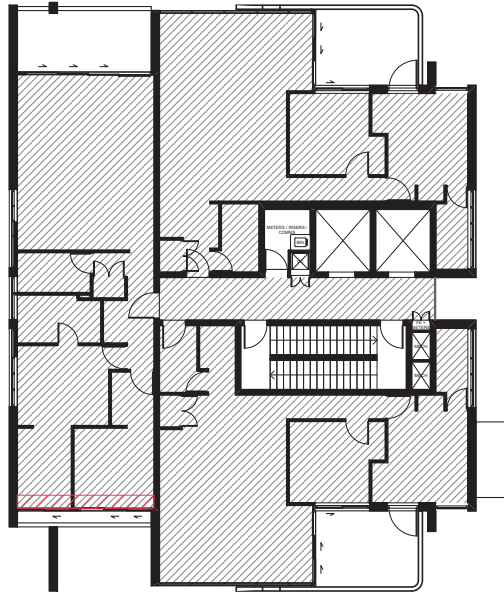
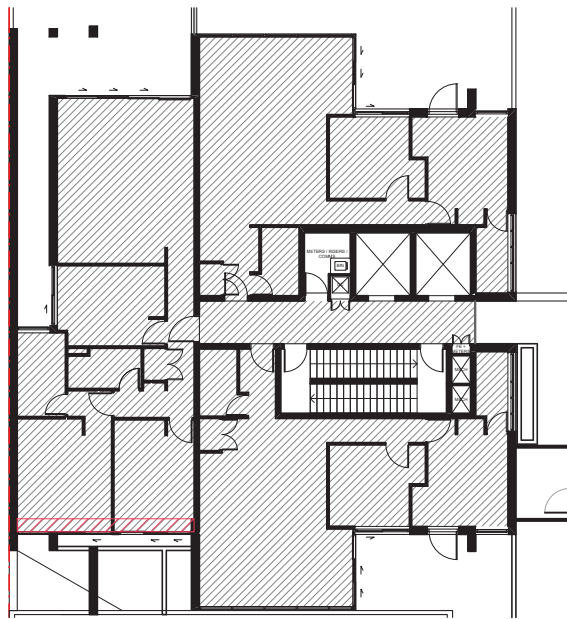
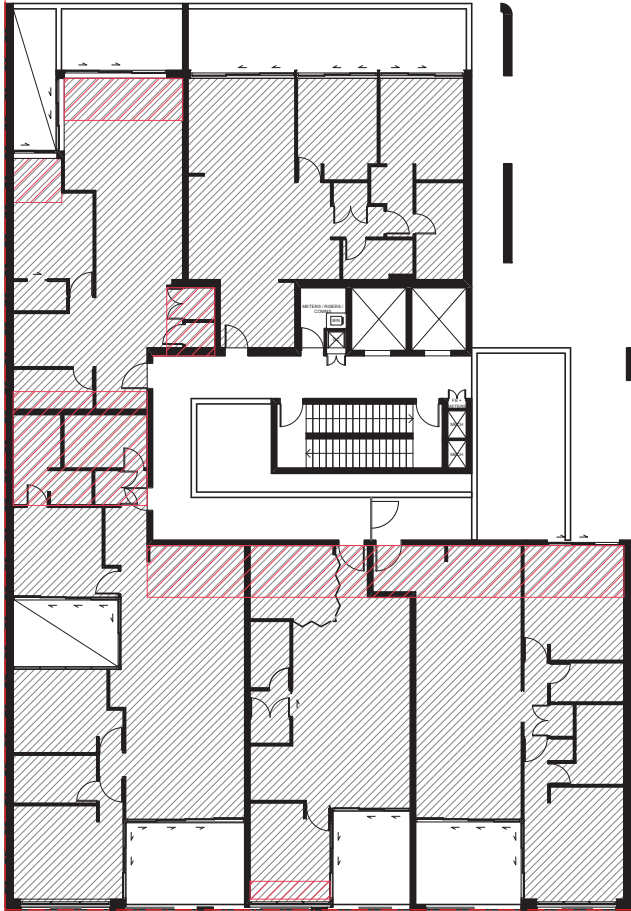


35 OXFORD STREET EPPING
GFA CALCULATION MEASURED FROM INTERNAL FACE OF EXTERNAL WALLS

SITE AREA 972m2
PERMISSIBLE FSR 4.5:1 OR 4374m2

LEVEL	GROSS FLOOR AREA
LEVEL 4	163
LEVEL 5	380
LEVEL 6	405
LEVEL 7	249
LEVEL 8	239
LEVEL 9	239
LEVEL 10	239
LEVEL 11	239
LEVEL 12	197
LEVEL 13	197
LEVEL 14	197
LEVEL 15	197
LEVEL 16	197
LEVEL 17	197
LEVEL 18	178
LEVEL 19	178
LEVEL 20	178
LEVEL 21	178
LEVEL 22	178
LEVEL 23	130
LEVEL 24	130
LEVEL 25	130
TOTAL	4615
PROPOSED FSR	4.74:1

 AREA INCLUDED IN FSR CALCULATIONS



35 OXFORD STREET EPPING

GFA CALCULATION MEASURED FROM INTERNAL FACE OF EXTERNAL WALLS

SITE AREA

972m²

PERMISSIBLE FSR

4.5:1 OR 4374m²

LEVEL	GROSS FLOOR AREA
LEVEL 4	163
LEVEL 5	380
LEVEL 6	405
LEVEL 7	249
LEVEL 8	239
LEVEL 9	239
LEVEL 10	239
LEVEL 11	239
LEVEL 12	197
LEVEL 13	197
LEVEL 14	197
LEVEL 15	197
LEVEL 16	197
LEVEL 17	197
LEVEL 18	178
LEVEL 19	178
LEVEL 20	178
LEVEL 21	178
LEVEL 22	178
LEVEL 23	130
LEVEL 24	130
LEVEL 25	130
TOTAL	4615
PROPOSED FSR	4.74:1



AREA INCLUDED IN FSR CALCULATIONS



1:100 @ A3
1:50 @ A1



AF / PFC

ALUMINIUM FRAMING TO
BAY WINDOWS &
PARALLEL FLANGE
CHANNEL TO STREET
AWNING
POWDERCOATED DULUX
'BLACK'
PG1A9
OR SIMILAR


CB / GB / W

- * COLOURBACK GLASS
- * GLASS BALUSTRADES (BLACK TINTED GLASS & FRAMING)
- ALL GLASS BALUSTRADING TO BE BLACK POWDERCOATED
- * WINDOW GLAZING (BLACK TINTED GLASS)
- ALL WINDOW FRAMES TO BE BLACK POWDERCOATED 'BLACK'


OR SIMILAR



CN1
RIBBED
PRE-CA
PANELS
OR SIMILAR



EC
EXTERNAL CURTAIN
FIXED TO TOP AND
BOTTOM TRACK
'BLACK'
OR SIMILAR



FB1
FACE BRICK 1
BOWARL 'GERTRUDIS
BROWN'
50mm PROFILE
OR SIMILAR

PT1
PAINT FINISH 1
PRE-CAST CONCRETE
PANEL
DULUX 'WHITE ON WHITE'
PN2G1
OR SIMILAR


PT2
PAINT FINISH 2
PRE-CAST CONCRETE
PANEL
DULUX 'BLACK'
PG1A9
OR SIMILAR

PT3
PAINT FINISH 3
PRE-CAST CONCRETE
PANEL
DULUX 'KAHLUA' MILK
P15C3
OR SIMILAR

PT4
PAINT FINISH 4
RENDER AND PAINTED
BRICKWORK
DULUX 'DOMINO'
PG1A8
OR SIMILAR

PF1

PERFORATED METAL
SCREEN
POWDERCOATED DULUX
'BLACK'
PG1A9
OR SIMILAR



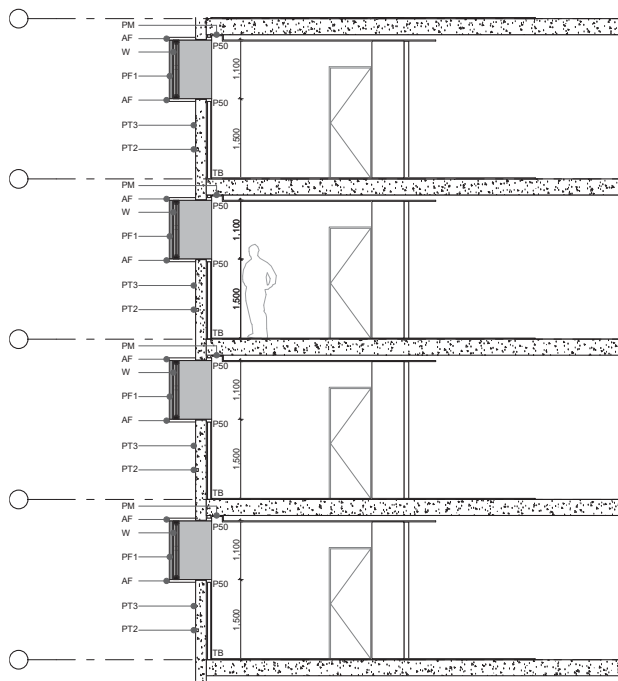
PS

**TIMBER PRIVACY SCREEN
BLACKBUTT
OR SIMILAR**

PS2

POWDERCOATED
ALUMINUM PRIVACY
SCREEN
DULUX 'WHITE ON WHITE'
PN2G1
OR SIMILAR

GB GLASS BALUSTRADE
LV LOUVERED WINDOW
PB PLASTERBOARD
PL PEBBLE BALLAST
TB TIMBER FLOORING
TL TILES



1:100 @ A3
1:50 @ A1



1:100 @ A3
1:50 @ A1

AF / PFC
ALUMINIUM FRAMING TO
BAY WINDOWS &
PARALLEL FLANGE
CHANNEL TO STREET
AWNING
POWDERCOATED DULUX
'BLACK'
PG1A9
OR SIMILAR

CB / GB / W
* COLOURBACK GLASS
* GLASS BALUSTRADES
(BLACK TINTED GLASS &
FRAMING)
ALL GLASS BALUSTRADING
TO BE BLACK
POWDERCOATED
* WINDOW GLAZING (BLACK
TINTED GLASS)
ALL WINDOW FRAMES TO
BE BLACK POWDERCOATED
'BLACK'
OR SIMILAR

CN1
RIBBED CONCRETE
PRE-CAST CONCRETE
PANELS
OR SIMILAR

EC
EXTERNAL CURTAIN
FIXED TO TOP AND
BOTTOM TRACK
'BLACK'
OR SIMILAR

FB1
FACE BRICK 1
BOWLWALL 'GERTRUDIS
BROWN'
50mm PROFILE
OR SIMILAR

PT1
PAINT FINISH 1
PRE-CAST CONCRETE
PANEL
DULUX 'WHITE ON WHITE'
PN2G1
OR SIMILAR

PT2
PAINT FINISH 2
PRE-CAST CONCRETE
PANEL
DULUX 'BLACK'
PG1A9
OR SIMILAR

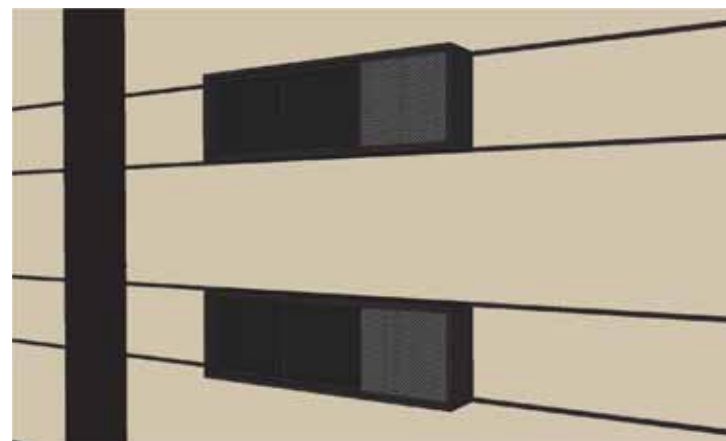
PT3
PAINT FINISH 3
PRE-CAST CONCRETE
PANEL
DULUX 'KAHLUA' MILK
P15C3
OR SIMILAR

PT4
PAINT FINISH 4
RENDER AND PAINTED
BRICKWORK
DULUX 'DOMINO'
PG1A8
OR SIMILAR

PF1
PERFORATED METAL
SCREEN
POWDERCOATED DULUX
'BLACK'
PG1A9
OR SIMILAR

PS
TIMBER PRIVACY SCREEN
BLACKBUTT
OR SIMILAR

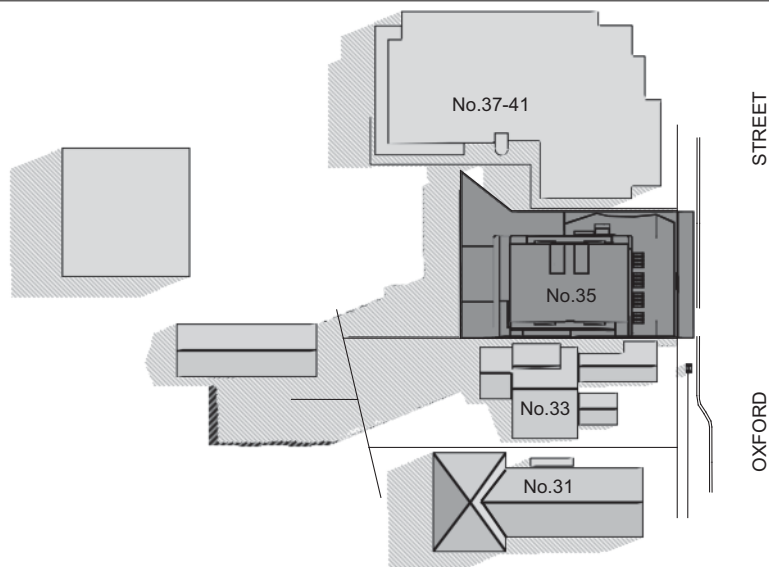
PS2
POWDERCOATED
ALUMINIUM PRIVACY
SCREEN
DULUX 'WHITE ON WHITE'
PN2G1
OR SIMILAR



GB GLASS BALUSTRADE
LV LOUVERED WINDOW
PB PLASTERBOARD
PL PEBBLE BALLAST
TB TIMBER FLOORING
TL TILES

3D IMAGE OF BAY
WINDOWS TO NORTH AND
SOUTH FACADES

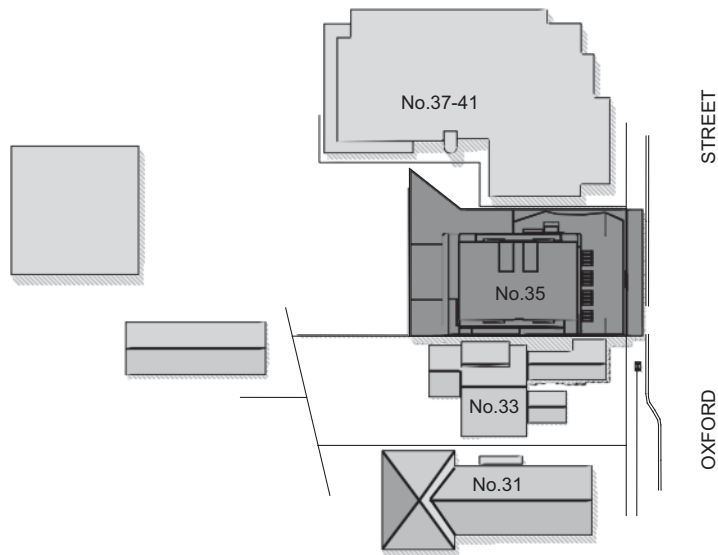
SHADOW DIAGRAM DECEMBER 22nd



9.00 am

<p>  Shadow from existing buildings and approved building  Additional shadow from proposed buildings </p> <p> NOTES Shadows from existing or proposed vegetation have not been considered. Shadows calculated according to information provided from survey and architectural drawings. </p>	<p>  Approx. True North </p>	<p> DIGITAL LINE Pty Ltd PO Box 860 Neutral Bay NSW 2089 Phone (02)9953 2312 Fax (02)8003 9708 </p>	<p> Architects MKD Architects </p>	<p> Project Proposed development at 33-35 Oxford Street, Epping, NSW </p>	<p> Job N. Sh2080_1d 02/09/2016 Scale 1:1000 printed @ A3 </p>
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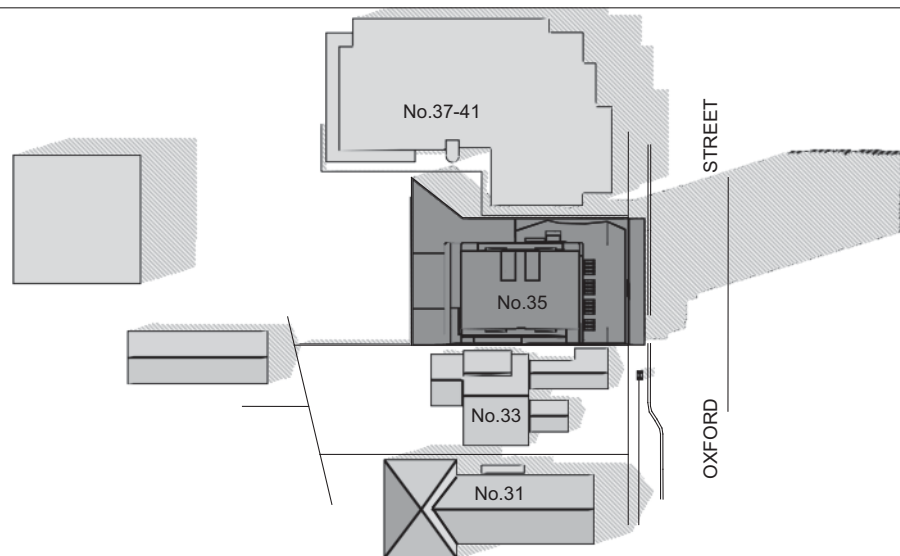
SHADOW DIAGRAM DECEMBER 22nd



12.00 noon

<p>  Shadow from existing buildings and approved building  Additional shadow from proposed buildings </p> <p>NOTES Shadows from existing or proposed vegetation have not been considered. Shadows calculated according to information provided from survey and architectural drawings.</p>	<p>  Approx. True North </p>	<p> DIGITAL LINE Pty Ltd PO Box 860 Neutral Bay NSW 2089 Phone (02)9953 2312 Fax (02)8003 9708 </p>	<p> Architects MKD Architects </p>	<p> Project Proposed development at 33-35 Oxford Street, Epping, NSW </p>	<p> Job N. Sh2080_1d 02/09/2016 Scale 1:1000 printed @ A3 </p>
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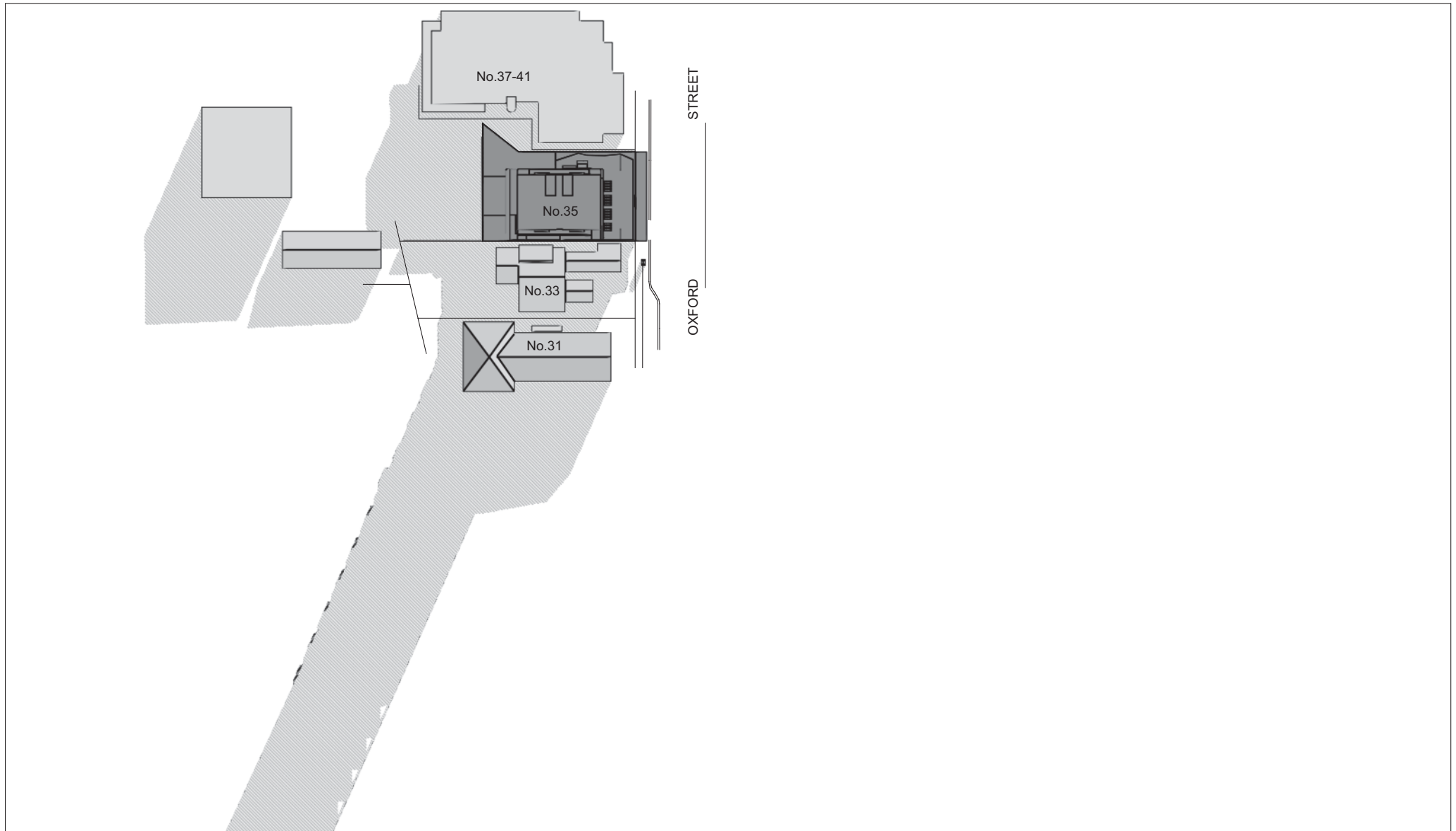
SHADOW DIAGRAM DECEMBER 22nd






3.00 pm

<p> Shadow from existing buildings and approved building</p> <p> Additional shadow from proposed buildings</p> <p>NOTES Shadows from existing or proposed vegetation have not been considered. Shadows calculated according to information provided from survey and architectural drawings.</p>	<p></p> <p>Approx. True North</p>	<p>DIGITAL LINE Pty Ltd PO Box 860 Neutral Bay NSW 2089 Phone (02)9953 2312 Fax (02)8003 9708</p>	<p>Architects MKD Architects</p>	<p>Project Proposed development at 33-35 Oxford Street, Epping, NSW</p>	<p>Job N. Sh2080_1d</p> <p>02/09/2016</p> <p>Scale 1:1000 printed @ A3</p>
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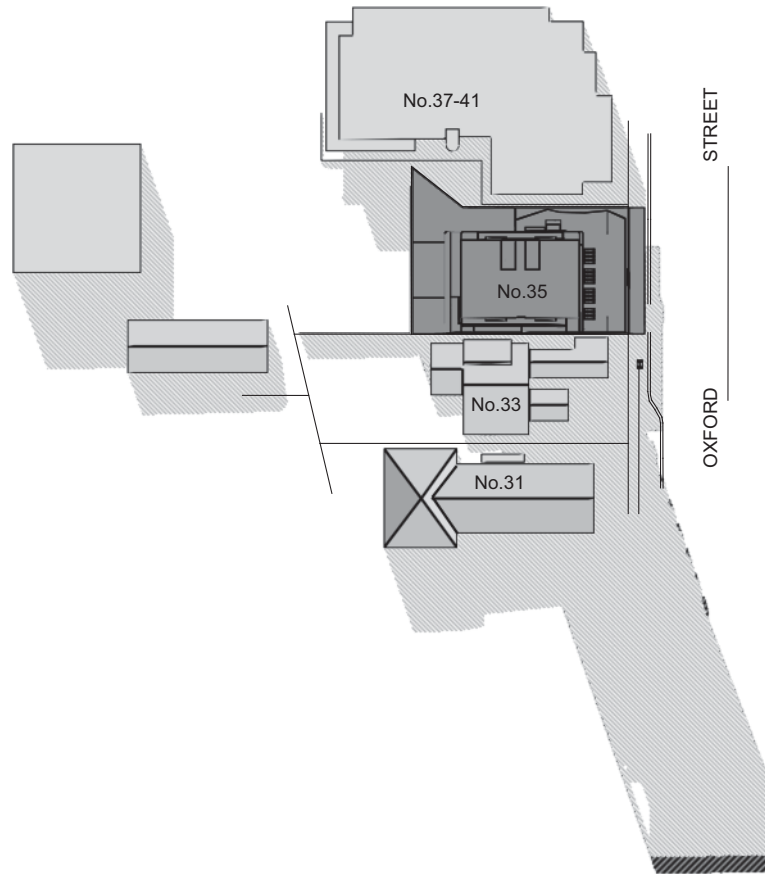
SHADOW DIAGRAM JUNE 22nd



9.00 am

<p> Shadow from existing buildings and approved building</p> <p> Additional shadow from proposed buildings</p> <p>NOTES Shadows from existing or proposed vegetation have not been considered. Shadows calculated according to information provided from survey and architectural drawings.</p>	<p></p> <p>Approx. True North</p>	<p>DIGITAL LINE Pty Ltd PO Box 860 Neutral Bay NSW 2089 Phone (02)9953 2312 Fax (02)8003 9708</p>	<p>Architects MKD Architects</p>	<p>Project Proposed development at 33-35 Oxford Street, Epping, NSW</p>	<p>Job N. Sh2080_1d</p> <p>02/09/2016</p> <p>Scale 1:1000 printed @ A3</p>
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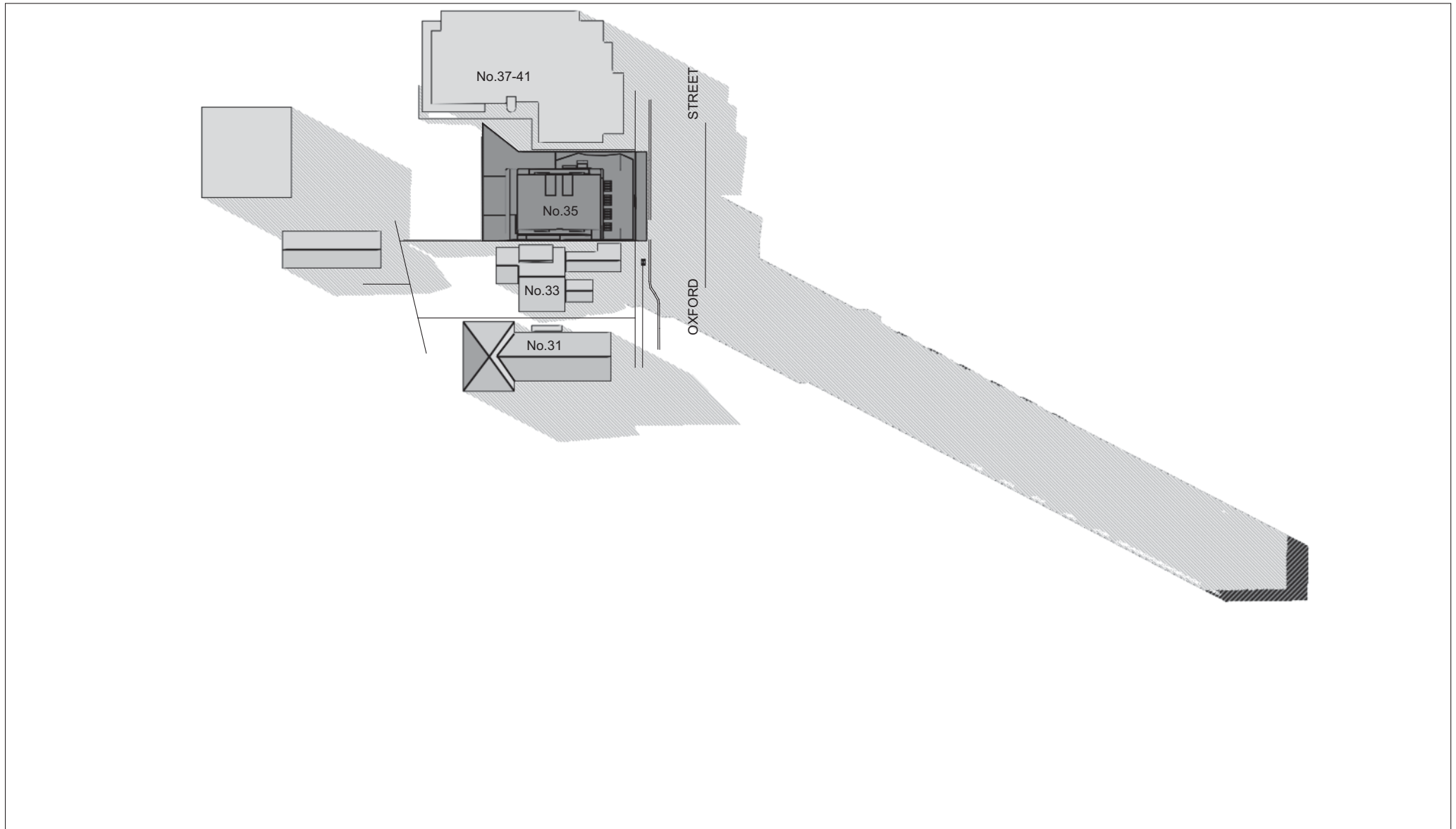
SHADOW DIAGRAM JUNE 22nd





12.00 noon

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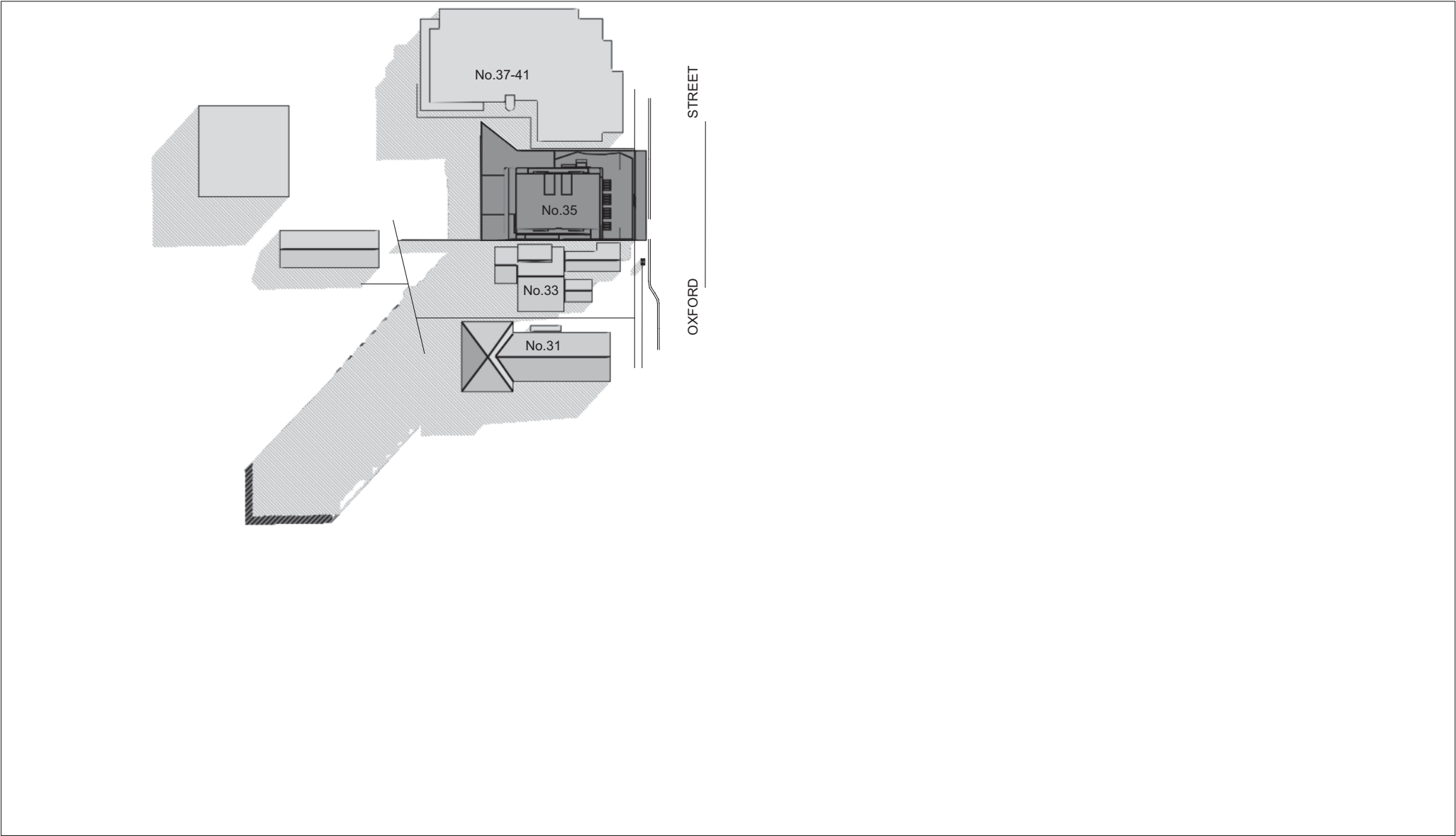
SHADOW DIAGRAM JUNE 22nd



3.00 pm

<p>  Shadow from existing buildings and approved building  Additional shadow from proposed buildings </p> <p>NOTES Shadows from existing or proposed vegetation have not been considered. Shadows calculated according to information provided from survey and architectural drawings.</p>	<p>  Approx. True North </p>	<p> DIGITAL LINE Pty Ltd PO Box 860 Neutral Bay NSW 2089 Phone (02)9953 2312 Fax (02)8003 9708 </p>	<p> Architects MKD Architects </p>	<p> Project Proposed development at 33-35 Oxford Street, Epping, NSW </p>	<p> Job N. Sh2080_1d 02/09/2016 Scale 1:1000 printed @ A3 </p>
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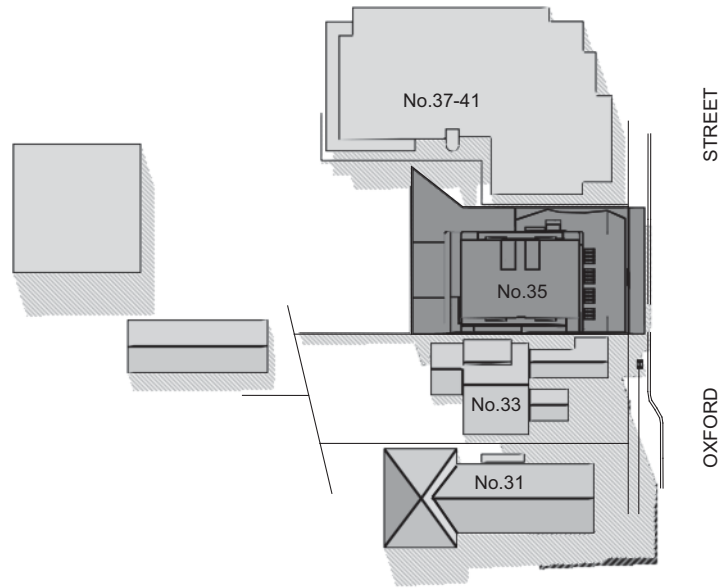
SHADOW DIAGRAM MARCH 22nd






9.00 am

<div><div></div>Shadow from existing buildings and approved building</div> <div><div></div>Additional shadow from proposed buildings</div> <div>NOTES Shadows from existing or proposed vegetation have not been considered. Shadows calculated according to information provided from survey and architectural drawings.</div>	<div></div> <div>Approx. True North</div>	<div>DIGITAL LINE Pty Ltd PO Box 860 Neutral Bay NSW 2089 Phone (02)9953 2312 Fax (02)8003 9708</div>	<div>Architects</div> <div>MKD Architects</div>	<div>Project</div> <div>Proposed development at 33-35 Oxford Street, Epping, NSW</div>	Job N. Sh2080_1d
					02/09/2016
					Scale 1:1000 printed @ A3

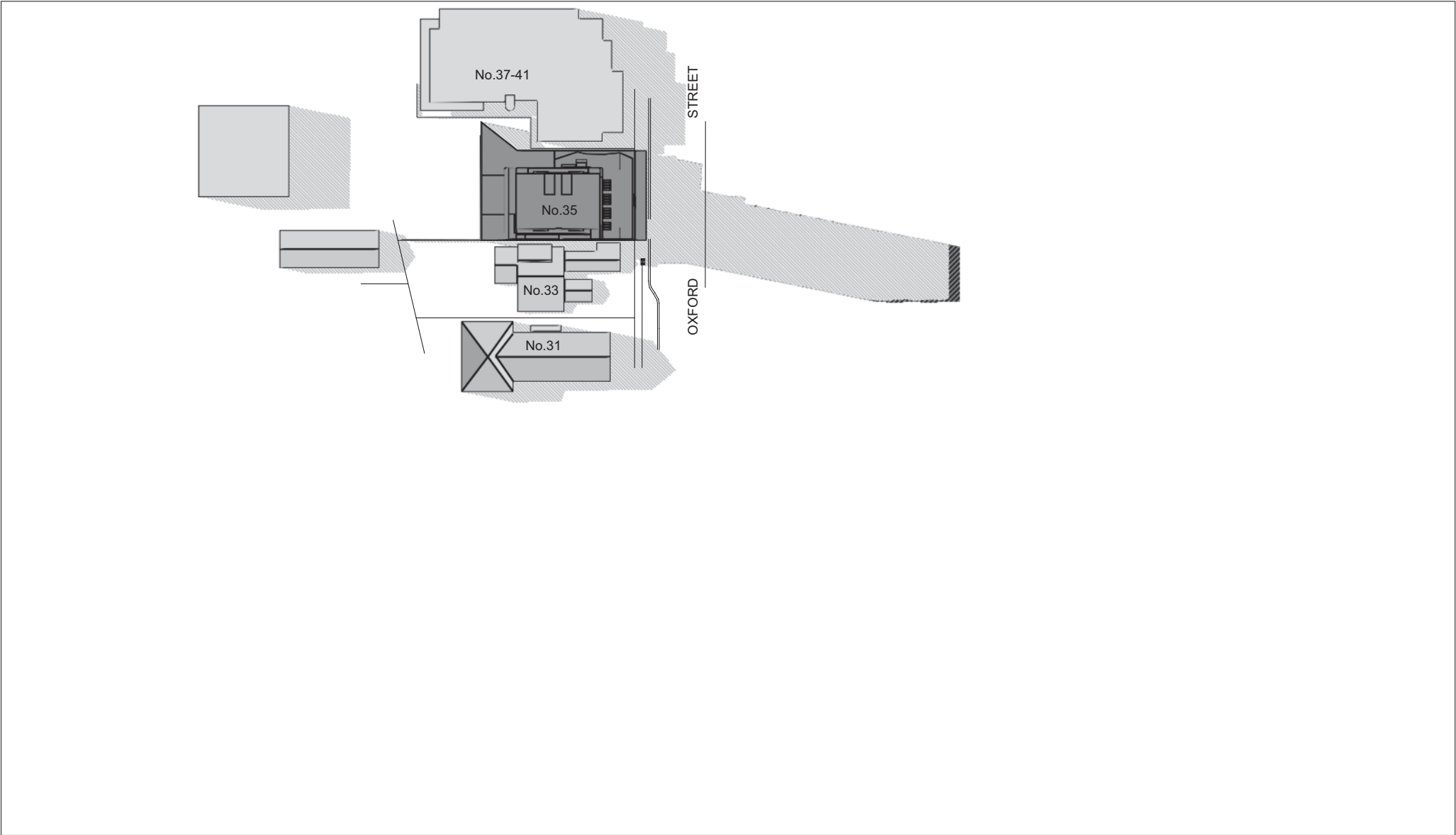
SHADOW DIAGRAM MARCH 22nd



12.00 noon

<p> Shadow from existing buildings and approved building</p> <p> Additional shadow from proposed buildings</p> <p>NOTES Shadows from existing or proposed vegetation have not been considered. Shadows calculated according to information provided from survey and architectural drawings.</p>	<p></p> <p>Approx. True North</p>	<p>DIGITAL LINE Pty Ltd PO Box 860 Neutral Bay NSW 2089 Phone (02)9953 2312 Fax (02)8003 9708</p>	<p>Architects MKD Architects</p>	<p>Project Proposed development at 33-35 Oxford Street, Epping, NSW</p>	<p>Job N. Sh2080_1d</p> <p>02/09/2016</p> <p>Scale 1:1000 printed @ A3</p>
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SHADOW DIAGRAM MARCH 22nd

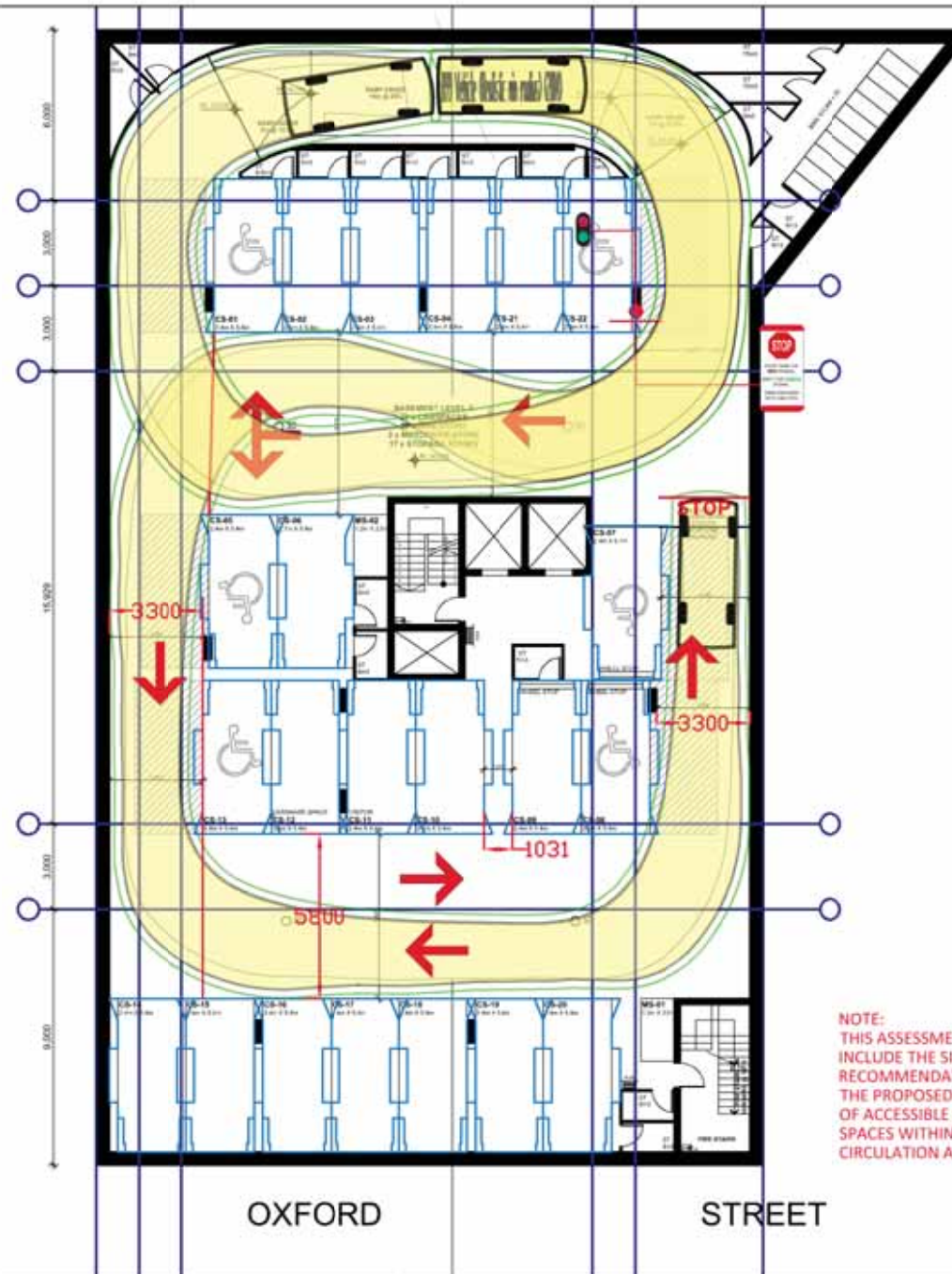


<div>Shadow from existing buildings and approved building</div> <div>Additional shadow from proposed buildings</div> <div>NOTES Shadows from existing or proposed vegetation have not been considered. Shadows calculated according to information provided from survey and architectural drawings.</div>	<div></div> <div>Approx. True North</div>	<div>DIGITAL LINE Pty Ltd PO Box 860 Neutral Bay NSW 2089 Phone (02)9953 2312 Fax (02)8003 9708</div>	<div>Architects</div> <div>MKD Architects</div>	<div>Project</div> <div>Proposed development at 33-35 Oxford Street, Epping, NSW</div>	Job N. Sh2080_1d
					02/09/2016
					Scale 1:1000 printed @ A3



 <p>parkingconsultants.com www.findingform.com tel +612 8520 0800 fax +612 8526 8885 suite 302, 308 miller street, cammeray NSW 2052</p>	NOTES: The turning paths illustrated in this drawing have been prepared using the Autotrack vehicle modelling software in conjunction with AutoCAD. The vehicle model was prepared by Analytico Pty Ltd based upon vehicle data provided by Austroads. While this modelling represents a conservative assessment of the vehicles ability, it is not possible to account for all vehicle types/characteristics or driver ability.		PROJECT: 35 OXFORD STREET EPPING		DRAWING TITLE: GROUND FLOOR TURNING PATH ASSESSMENT DEMONSTRATING A 99th PERCENTILE VEHICLE (FORD FAIRLANE) EXITING THE CARPARK		CLIENT: LUXCON	
							DRG. #: TP-01	
							VERSION #: 8	SCALE: 1:250
							PROJECT #: T2-1486	DATE: 18/08/16

STREET

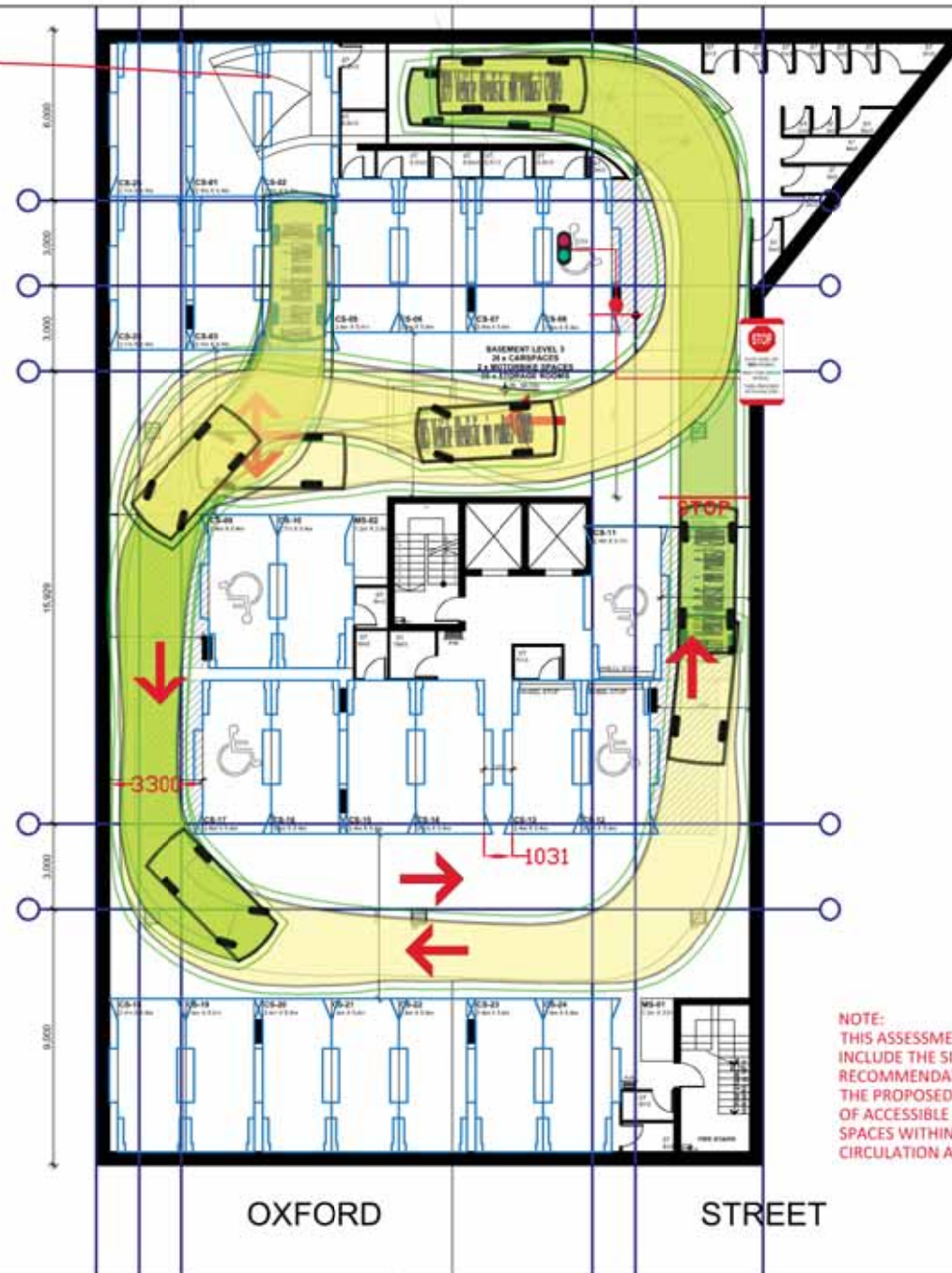


NOTE:
THIS ASSESSMENT DOES NOT
INCLUDE THE SIGN OFF OR
RECOMMENDATIONS FOR
THE PROPOSED PROVISION
OF ACCESSIBLE SHARED
SPACES WITHIN THE
CIRCULATION AISLES.

OXFORD

STREET

ENSURE THAT HEIGHT-CLEARANCE UNDERNEATH RAMPS ENABLES 2.2m ABOVE PARKING SPACES



NOTE:
THIS ASSESSMENT DOES NOT
INCLUDE THE SIGN OFF OR
RECOMMENDATIONS FOR
THE PROPOSED PROVISION
OF ACCESSIBLE SHARED
SPACES WITHIN THE
CIRCULATION AISLES.

NOTES:

The turning paths illustrated in this drawing have been prepared using the Autotrack vehicle modelling software in conjunction with AutoCAD. The vehicle model was prepared by Analytico Pty Ltd based upon vehicle data provided by Austroads. While this modelling represents a conservative assessment of the vehicles ability, it is not possible to account for all vehicle types/characteristics or driver ability.

PROJECT:

35 OXFORD STREET EPPING

DRAWING TITLE:

BASEMENT LEVEL 3
TURNING PATH ASSESSMENT DEMONSTRATING A
99th PERCENTILE VEHICLE (FORD FAIRLANE)
EXITING THE CARPARK

CLIENT: LUXCON

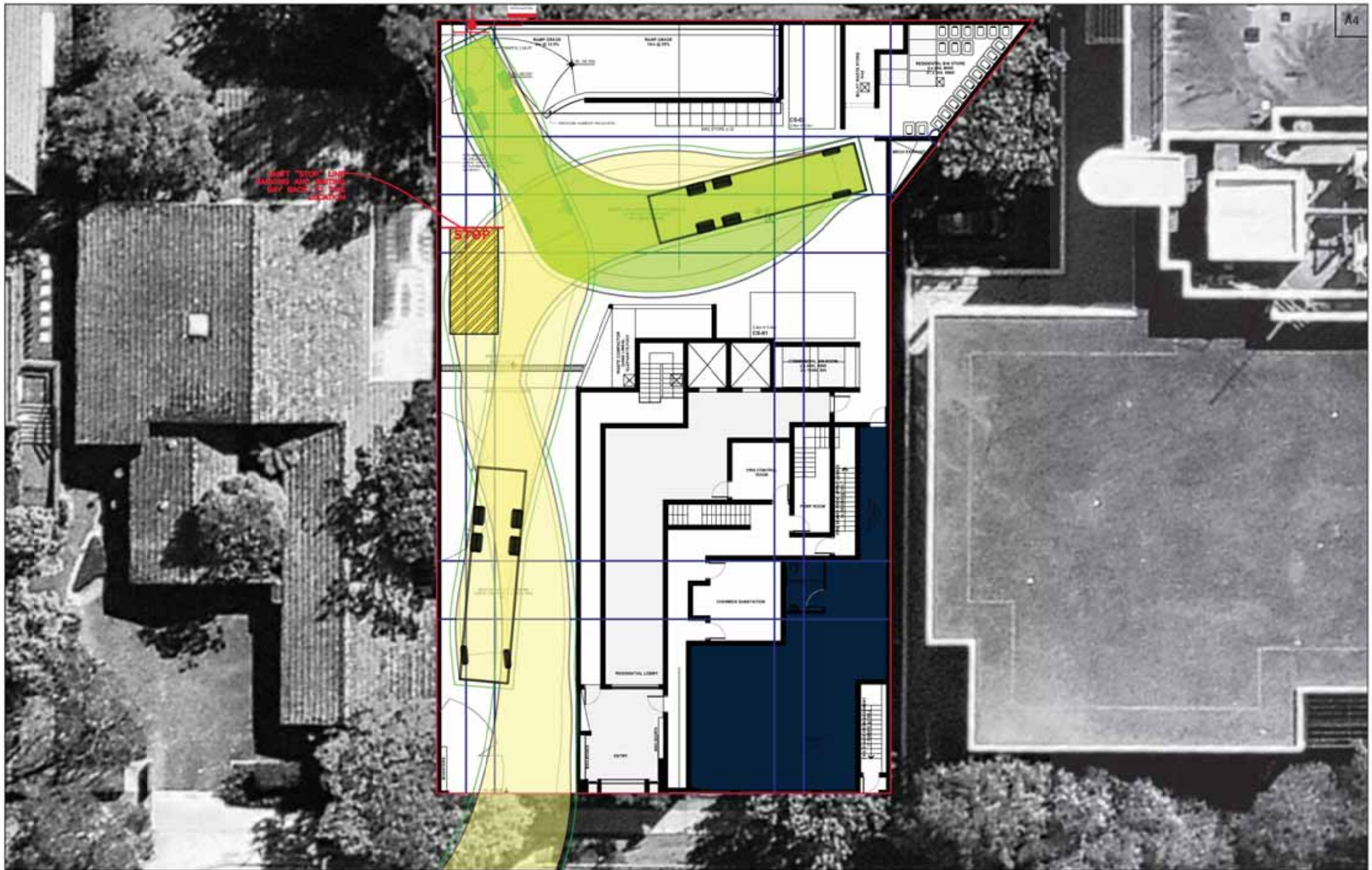
DRG. #: TP-04


VERSION #: 8

PROJECT #: T2-1486


SCALE: 1:250

DATE: 18/08/16



 <p>parkingconsultants.com www.findingform.com</p> <p>tel: +612 9520 0800 fax: +612 9520 8885 suite 302, 308 miller street, cammeray new 2002</p> <p><small>© copyright 2016/2017 parking consultants</small></p>	<p>NOTES: The turning paths illustrated in this drawing have been prepared using the Autotrack vehicle modelling software in conjunction with AutoCAD. The vehicle model was prepared by Analytico Pty Ltd based upon vehicle data provided by Austroads. While this modelling represents a conservative assessment of the vehicles ability, it is not possible to account for all vehicle types/characteristics or driver ability.</p>	<p>PROJECT: 35 OXFORD STREET EPPING</p>	<p>DRAWING TITLE: GROUND FLOOR TURNING PATH ASSESSMENT DEMONSTRATING AN 11M RIGID VEHICLE ACCESSING THE LOADING AREA</p>	<p>CLIENT: LUXCON</p>	
				<p>DRG. #: TP-05</p>	
				<p>VERSION #: 8</p>	<p>SCALE: 1:250</p>
				<p>PROJECT #: T2-1486</p>	<p>DATE: 18/08/16</p>



 PARKING & TRAFFIC CONSULTANTS <small>© copyright 2016/17 parking consultants</small>	parkingconsultants.com www.findingform.com tel: +612 8520 0800 fax: +612 8526 8885 suite 102, 108 miller street, cammeray nsw 2052	NOTES: The turning paths illustrated in this drawing have been prepared using the Autotrack vehicle modelling software in conjunction with AutoCAD. The vehicle model was prepared by Analytico Pty Ltd based upon vehicle data provided by Austroads. While this modelling represents a conservative assessment of the vehicles ability, it is not possible to account for all vehicle types/characteristics or driver ability.	PROJECT: 35 OXFORD STREET EPPING	DRAWING TITLE: GROUND FLOOR	CLIENT: LUXCON	
				TURNING PATH ASSESSMENT DEMONSTRATING AN 12.5M RIGID VEHICLE ACCESSING THE LOADING AREA	DRG. #: TP-06	
				VERSION #: 8	SCALE: 1:250	
				PROJECT #: T2-1486	DATE: 18/08/16	